



ASSESSORS: PARCEL ID: 28-9-0

REFERENCES: DEED BOOK 40739, PAGE 191  
PLAN 130 OF 1964

RECORD OWNER: 9 CROWN WAY LLC

NOTES:

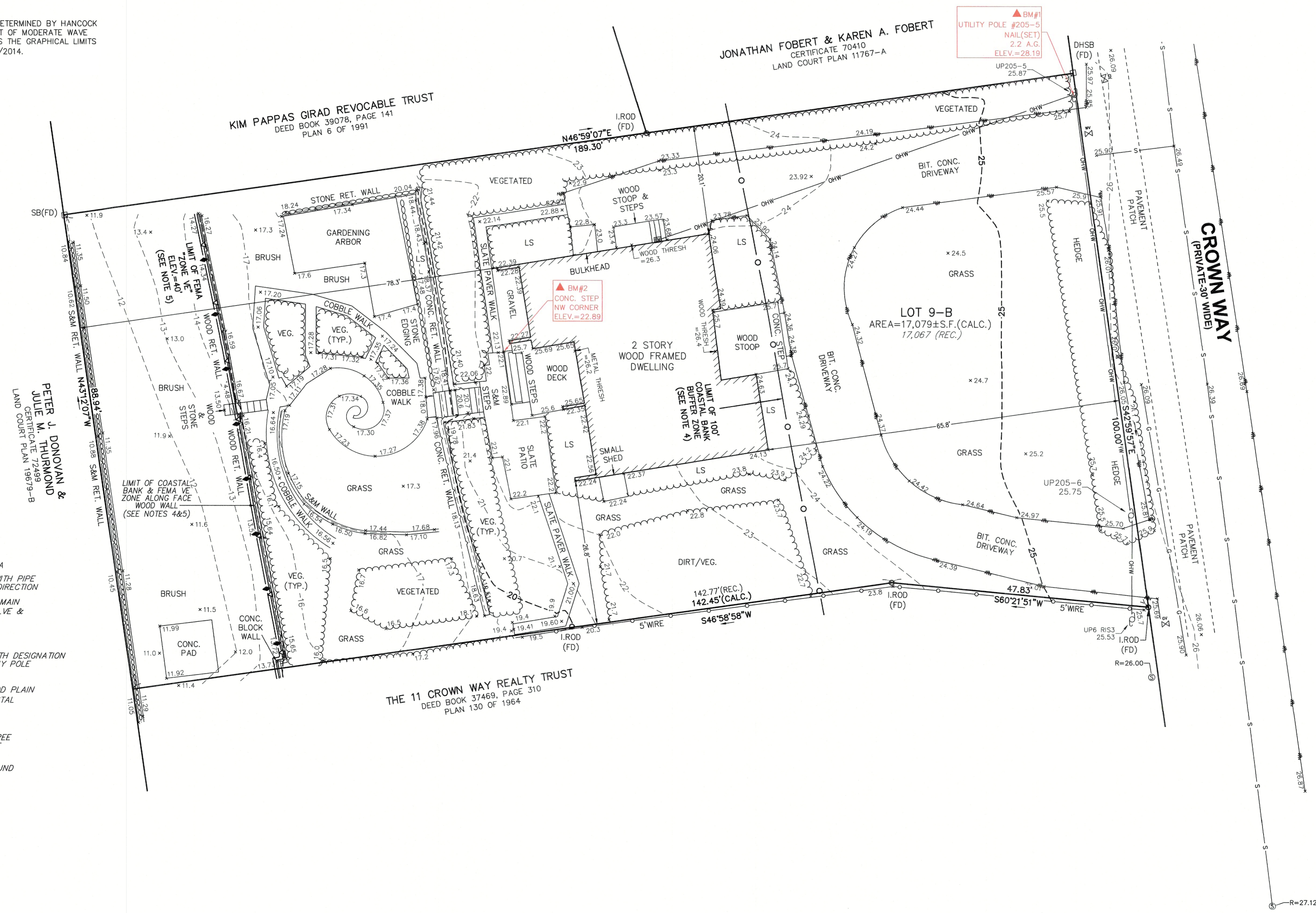
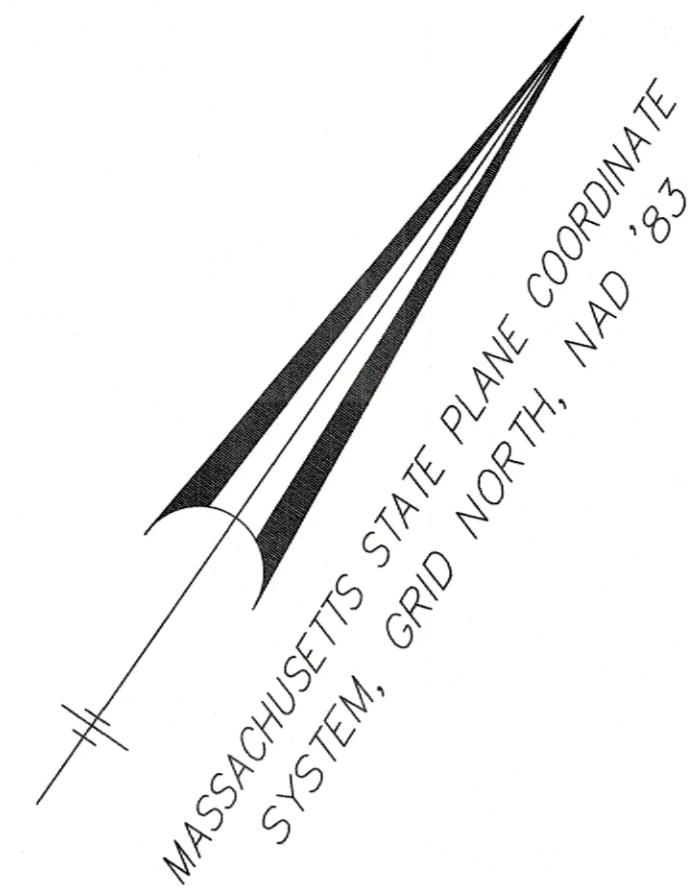
1) THE HORIZONTAL DATUM FOR THIS SURVEY IS THE MASSACHUSETTS COORDINATE SYSTEM, NAD 1983, MAINLAND ZONE. THE VERTICAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88). SAID DATUMS WERE ESTABLISHED VIA GPS OBSERVATIONS UTILIZING NAD83 (NA2011) EPOCH 2010.00 (MYCS2) AND GEOID 18.

2) UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.

3) BUILDING OFFSETS SHOWN HEREON ARE TO WOOD CORNER BOARD UNLESS OTHERWISE NOTED.

4) COASTAL BANK INFORMATION SHOWN HEREON DETERMINED BY HANCOCK ASSOCIATES BASED ON MASS DEP POLICY 92-1 FIGURE #4 (310 CMR 10.30)

5) LIMIT OF FEMA FLOOD ZONE 'VE' SHOWN HEREON DETERMINED BY HANCOCK ASSOCIATES BASED, IN PART, ON EVALUATION OF LIMIT OF MODERATE WAVE ACTION, THE LOCATION OF WHICH GENERALLY MATCHES THE GRAPHICAL LIMITS SHOWN ON FEMA MAP 25009C0551G; EFFECTIVE 7/16/2014.



- LEGEND**
- 16--- SURFACE CONTOUR
  - STONE WALL
  - EDGE OF PAVEMENT
  - WIRE FENCE
  - EDGE OF VEGETATED AREA
  - SEWERLINE & MANHOLE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION
  - WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
  - GAS MAIN WITH SIZE & GATE VALVE
  - EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
  - RETAINING WALL
  - LIMIT OF 100-YEAR FLOOD PLAIN
  - LIMIT OF 100-FOOT COASTAL BANK BUFFER ZONE
  - × 21.1 SPOT ELEVATION
  - × 24.7 PROMINENT DECIDUOUS TREE WITH ELEVATION AND SIZE
  - ELECTRIC METER
  - DRILL HOLE IN STONE BOUND
  - IRON ROD
  - BIT. CONC. BITUMINOUS CONCRETE
  - LS LANDSCAPED
  - VEG. VEGETATED
  - (TYP.) TYPICAL
  - (FD) FOUND
  - R/S RISER
  - A.G. ABOVE GRADE

9 CROWN WAY

Marblehead, Massachusetts

PREPARED FOR:

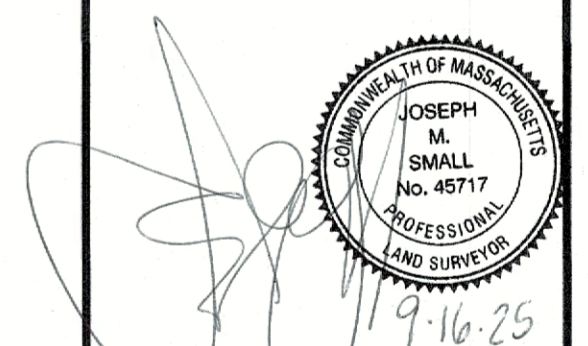
9 CROWN WAY LLC

9 Crown Way  
Marblehead, Massachusetts 01945

HANCOCK ASSOCIATES

Civil Engineers  
Land Surveyors  
Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923  
VOICE (978) 777-3050, FAX (978) 774-7816  
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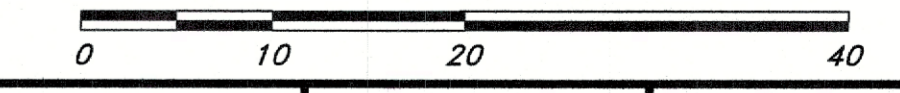


NO.	BY	APP.	DATE	ISSUE/REVISION	DESCRIPTION

EXISTING CONDITIONS  
PLAN OF LAND  
IN  
MARBLEHEAD, MA

PLOT DATE: Aug 18, 2025 1:31 pm  
PATH: F:\Civil 3D Projects\27900 SV Design - Marblehead\Sur\DWG\

SCALE: 1" = 10'



DATE: 8/18/2025	DRAWN BY: CLB
DWG: 27900ec.dwg	CHECK BY: JMS
LAYOUT: EC	SHEET: 2 OF 6
PROJECT NO.:	27900

C2

**EROSION AND SEDIMENTATION PLAN**

BEST MANAGEMENT PRACTICES (BMP) FOR EROSION AND SEDIMENTATION CONTROL ARE STAKED STRAW WATTLES, FILTER FENCES, HYDRO SEEDING, AND PHASED DEVELOPMENT. MANY STORMWATER BMP TECHNOLOGIES (E.G., INFILTRATION TECHNOLOGIES) ARE NOT DESIGNED TO HANDLE THE HIGH CONCENTRATIONS OF SEDIMENTS TYPICALLY FOUND IN CONSTRUCTION RUNOFF AND MUST BE PROTECTED FROM CONSTRUCTION-RELATED SEDIMENT LOADINGS. CONSTRUCTION BMP'S WILL BE INSPECTED DAILY AND MAINTAINED AS REQUIRED TO ENSURE PROPER FUNCTION.

IN DEVELOPING THE PROPOSED PROJECT CERTAIN MEASURES WILL BE IMPLEMENTED TO MINIMIZE IMPACTS EROSION AND SEDIMENTATION COULD HAVE ON SURROUNDING AREAS. THIS SECTION ADDRESSES ITEMS THAT INVOLVE PROPER CONSTRUCTION TECHNIQUES, CLOSE SURVEILLANCE OF WORKMANSHIP, AND IMMEDIATE RESPONSE TO EMERGENCY SITUATIONS. THE DEVELOPER MUST BE PREPARED TO PROVIDE WHATEVER REASONABLE MEASURES ARE NECESSARY TO PROTECT THE ENVIRONMENT DURING CONSTRUCTION AND TO STABILIZE ALL DISTURBED AREAS AS SOON AS CONSTRUCTION ENDS.

**PRE-CONSTRUCTION**

1. THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE TO BE USED TO SUPPLEMENT OR REPLACE EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO STRAW WATTLES, SILT FENCE AND CRUSHED STONE.
2. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED ON THE PLAN OR IN THE ORDER OF CONDITIONS.
3. UNSUITABLE EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE.
4. CONSTRUCTION ENTRANCE SHALL BE INSTALLED.

**PRELIMINARY SITE WORK**

1. EXCAVATED MATERIALS SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROL SHALL BE UTILIZED ALONG THE DOWN SLOPE SIDE OF THE PILES AND SIDE SLOPES SHALL NOT EXCEED 2:1.
2. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL STRAW WATTLE, SILT FENCES, OR CRUSHED STONE SHALL BE CONSIDERED.

**ONGOING SITE WORK**

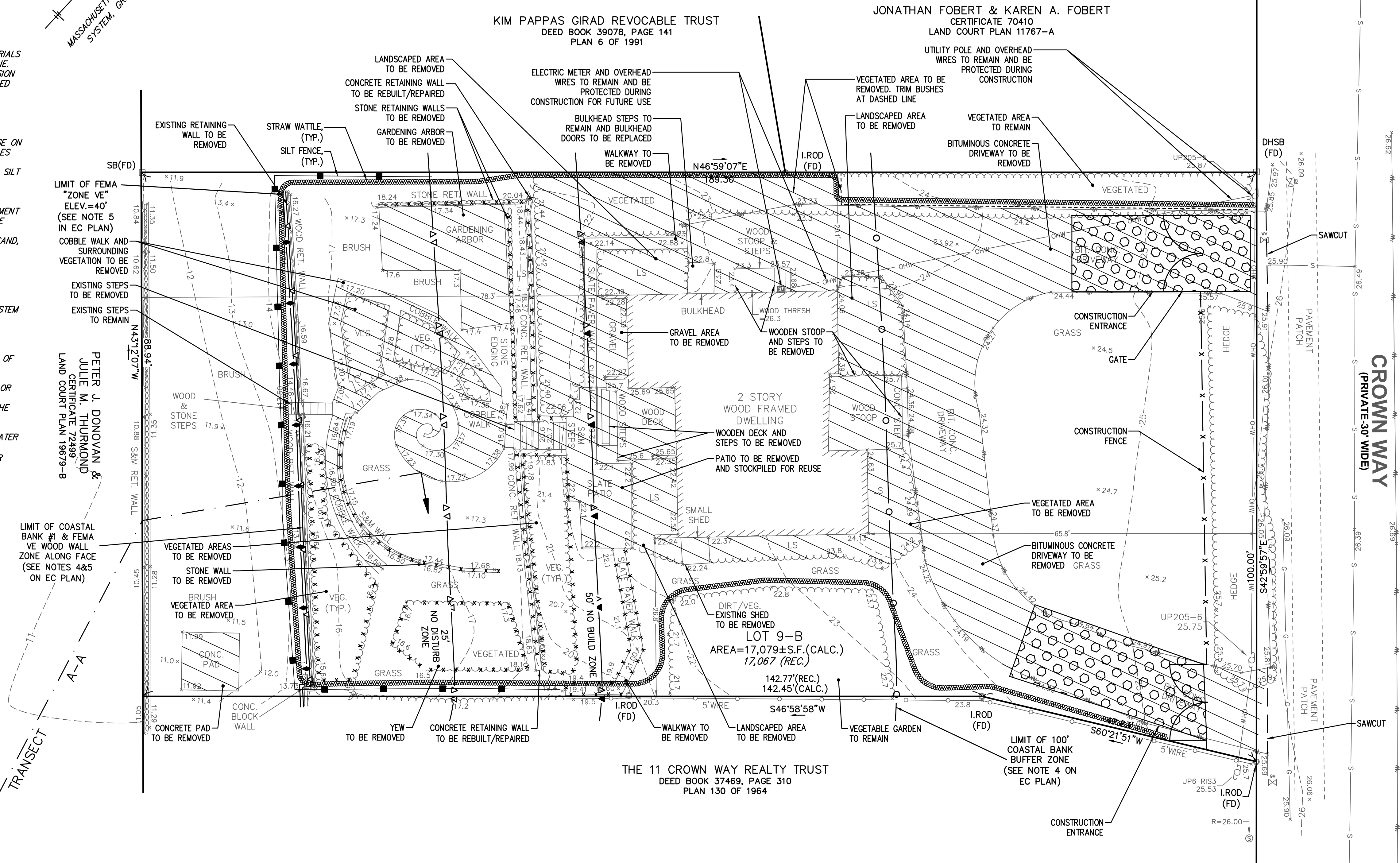
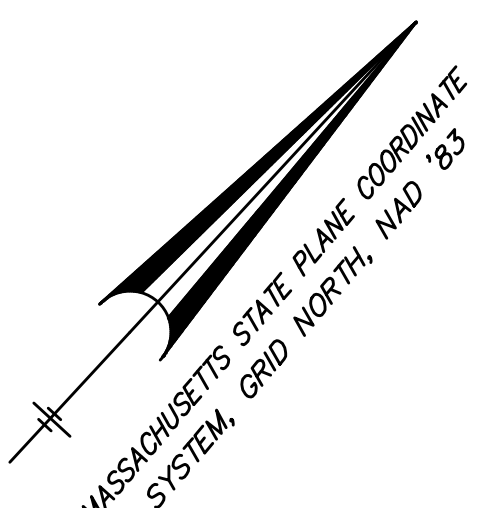
1. EROSION CONTROL MEASURES SHALL BE INSPECTED DAILY AND REPLACED AS NEEDED. SEDIMENT BUILT UP BEHIND SILT FENCES SHALL BE REMOVED WHEN LEVEL REACHES ONE HALF WATTLE HEIGHT AND DISPOSED IN ACCORDANCE WITH APPLICABLE REGULATIONS.
2. DEWATERING IF NECESSARY SHALL BE DONE IN A MANNER SO AS NOT TO TRANSMIT SILT, SAND, OR PARTICULATE MATTER TO THE RECEIVING WATER OR EXISTING DRAINAGE SYSTEM.
3. CONSTRUCTION ENTRANCE SHALL BE INSPECTED WEEKLY. STONE SHALL BE REMOVED AND REPLACED WHEN SEDIMENT REACHES TOP OF STONE.
4. CROWN WAY SHALL BE INSPECTED DAILY AND SWEEP AS NEEDED TO KEEP PAVED SURFACE FREE OF SOIL AND DEBRIS.
5. NO EXISTING UTILITIES SHALL BE ABANDONED IN PLACE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A FUNCTIONAL STORM DRAINAGE SYSTEM IN CROWN WAY AT ALL TIMES DURING CONSTRUCTION, INCLUDING PERIODIC CLEAN OUT OF SEDIMENT.

**LANDSCAPING**

1. LANDSCAPING SHALL OCCUR AS SOON AS POSSIBLE TO PROVIDE PERMANENT STABILIZATION OF DISTURBED SURFACES.
2. IF THE SEASON OR ADVERSE WEATHER CONDITIONS DO NOT ALLOW THE ESTABLISHMENT OF VEGETATION, TEMPORARY MULCHING WITH STRAW, WOOD CHIPS WEIGHTED WITH SNOW FENCE OR BRANCHES, OR OTHER METHODS SHALL BE PROVIDED.
3. A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE PLACED AND ITS SURFACE SMOOTHED TO THE SPECIFIED GRADES.
4. THE USE OF HERBICIDES IS STRONGLY DISCOURAGED.
5. HYDRO SEEDING IS ENCOURAGED FOR STEEP SLOPES. APPLICATION RATES ON SLOPES GREATER THAN 3:1 SHALL HAVE A MINIMUM SEEDING RATE OF 5-LBS/1000 SF. A LATEX OR FIBER TACKIFIER SHALL BE USED ON THESE SLOPES AT A MINIMUM RATE OF 50 LBS. OF TACKIFIER PER 500 GALLONS OF WATER USED.

**CONSTRUCTION SEQUENCE**

1. INSTALL CONSTRUCTION ENTRANCE
2. INSTALL EROSION CONTROL
3. SITE DEMOLITION AND PREPARATION PER PLAN.
4. FOUNDATION CONSTRUCTION.
5. BACKFILL OF FOUNDATION.
6. DRIVEWAY AND BUILDING CONSTRUCTION.
7. REMOVE CONSTRUCTION ENTRANCE.
8. FINAL GRADING, AND PAVING.
9. LANDSCAPING, LOAM AND SEED.
10. REMOVAL OF EROSION CONTROL ONCE FULLY STABILIZED.



**PERMIT PLAN SITE**

9 Crown Way  
Marblehead, Massachusetts 01945

ASSESSORS:  
PARCEL ID  
28-9-0

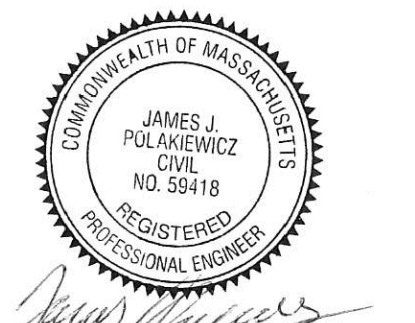
PREPARED FOR:  
**9 CROWN WAY LLC**

9 Crown Way  
Marblehead, Massachusetts 01945

**HANCOCK ASSOCIATES**

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Land Surveyors  
Wetland Scientists

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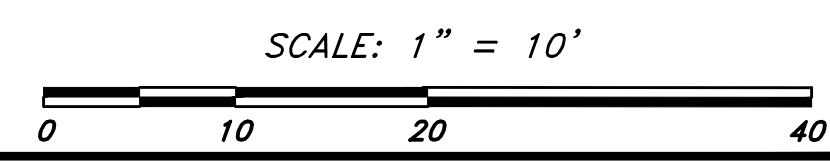
03/16/26

NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

**SITE PREPARATION AND EROSION CONTROL PLAN**

DATE: 03/16/26 DESIGN BY: JUP  
SCALE: 1" = 10' DRAWN BY: JTE/JUP  
APPROV. BY: JUP CHECK BY: KAC

DWG: 27900sp.dwg	<b>C3</b>
LAYOUT: SP	
SHEET: 3 OF 6	
PROJECT NO.: 27900	



**DIMENSIONAL REQUIREMENTS**

DISTRICT: SHORELINE SINGLE RESIDENCE (SSR)  
 OVERLAY DISTRICT: FLOODPLAIN  
 USE: SINGLE-FAMILY DWELLING

REQUIREMENT	REQUIRED	EXISTING	PROPOSED	NOTES
LOT AREA	10,000 SF	17,079 SF±	17,079 SF±	
MIN. FRONTAGE	100'	100.00'	100.00'	
MIN. LOT WIDTH	75'	88.94'	88.94'	
MIN. FRONT YARD SETBACK	20'	65.8'	25.1'	[1]
MIN. SIDE YARD SETBACK	25'	20.1' (AT W YARD)	20.1' (AT W YARD)	
		26.8' (AT E YARD)	25.3' (AT N YARD)	
MIN. REAR YARD SETBACK	15'	78.3'	76.3'	
MIN. WATERFRONT YARD	25'	N/A	N/A	
MAX. BUILDING HEIGHT	30'	29'	29'	[2]
MAX. ACCESSORY STRUCTURE AREA	81 SF	21 SF (SHED)	80 SF (POOL SHED)	[2]
MAX. ACCESSORY STRUCTURE HEIGHT	15'	-	12' (POOL SHED)	[2]
MIN. ACCESSORY FRONT YARD SETBACK	20'	92.7' (SHED)	79.8' (POOL SHED)	
MIN. ACCESSORY SIDE YARD SETBACK	12.5'	22.4' (SHED)	12.5' (POOL SHED)	
MIN. ACCESSORY REAR YARD SETBACK	7.5'	91.6' (SHED)	98.3' (POOL SHED)	
MIN. OPEN AREA	1 SF PER 1 SF OF GFA	3,831 SF± (REQUIRED)	5,551 SF± (REQUIRED)	
		15,044 SF ±(PROVIDED)	13,600 SF± (PROVIDED)	

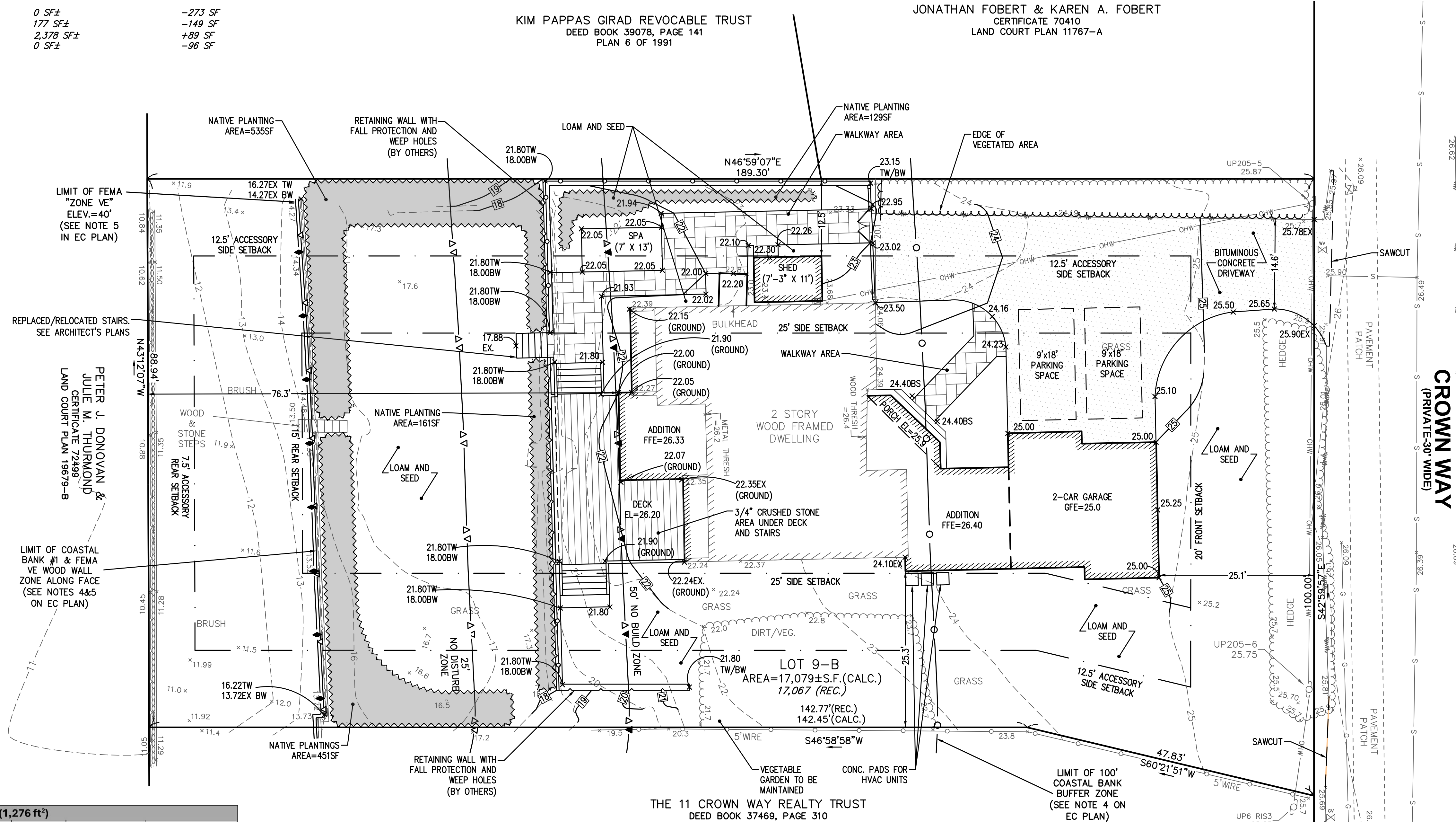
[1] EXISTING NONCONFORMITY  
 [2] PROVIDED BY ARCHITECT

**SITE DATA**

IMPERVIOUS AREA - TOTAL SITE	PRE-DEVELOPMENT	POST-DEVELOPMENT	NET DIFFERENCE
BUILDING AREA	1,347 SF± (7.9%)	2,604 SF± (15.2%)	+1,257 SF (+7.3%)
PAVEMENT AND WALKWAYS AREA	3,885 SF± (22.7%)	2,321 SF± (13.6%)	-1,564 SF (-9.1%)
TOTAL IMPERVIOUS AREA	5,232 SF± (30.6%)	4,925 SF± (28.8%)	-307 SF (-1.8%)
IMPERVIOUS AREA WITHIN 0 - 25' NO DISTURB ZONE	273 SF±	0 SF±	-273 SF
IMPERVIOUS AREA WITHIN 25' - 50' NO BUILD ZONE	326 SF±	177 SF±	-149 SF
IMPERVIOUS AREA WITHIN 50' - 100' BUFFER ZONE	2,289 SF±	2,378 SF±	+89 SF
IMPERVIOUS AREA WITHIN COASTAL BANK	96 SF±	0 SF±	-96 SF

**BUFFER ZONE RESTORATION PLAN NOTES**

- GENERAL NOTES**
- THE MARBLEHEAD CONSERVATION COMMISSION SHALL BE NOTIFIED NO LESS THAN ONE (1) WEEK IN ADVANCE OF THE INITIATION OF ANY BUFFER ZONE RESTORATION WORK.
  - PRIOR TO THE INITIATION OF ANY WORK, THE LIMIT OF THE RESTORATION AREA SHALL BE LOCATED AND STAKED VIA SURVEY.
  - A QUALIFIED RESTORATION ECOLOGIST OR WETLAND SCIENTIST SHALL OVERSEE ALL WORK PERFORMED BY CONTRACTORS.
  - IN THE EVENT THAT SPECIFIED PLANTINGS ARE UNAVAILABLE, SUITABLE SUBSTITUTE SPECIES MAY BE CONSIDERED, HOWEVER PLANT SELECTION SHALL BE LIMITED TO NATIVE SPECIES SUITABLE TO THE GROWING CONDITIONS OF THE SITE. ANY PROPOSED DEVIATION FROM THIS PLAN MUST BE SUBMITTED TO THE CONSERVATION COMMISSION FOR REVIEW AND APPROVAL PRIOR TO EXECUTION.
- BUFFER ZONE RESTORATION AREA (APPROXIMATELY 1,276 SQUARE FEET)**
- PRIOR TO ANY VEGETATION CLEARING OR EARTH DISTURBANCE, SEDIMENT CONTROLS SHALL BE INSTALLED ALONG THE LIMIT OF WORK LINE IN ACCORDANCE WITH ALL SPECIFICATIONS. THE CONSERVATION COMMISSION SHALL BE NOTIFIED UPON COMPLETION OF INSTALLATION AND AFFORDED THE OPPORTUNITY TO INSPECT ALL INSTALLED SEDIMENT CONTROLS PRIOR TO INITIATION OF ANY WORK.
  - FOLLOWING INSTALLATION OF SEDIMENT CONTROLS, CONTRACTORS SHALL REMOVE ANY INVASIVE SPECIES PRESENT WITHIN THE PROPOSED AREA.
  - PRIOR TO INSTALLATION OF PLANTINGS AND NATIVE SEED MIXES, CONTRACTORS SHALL ENSURE THERE IS NO LESS THAN 6-INCHES OF ORGANIC TOPSOIL AT ALL LOCATIONS WITHIN THE RESTORATION AREAS. IF ANY LOCATIONS ARE FOUND TO HAVE LESS THAN 6-INCHES OF ORGANIC TOPSOIL, THE CONTRACTORS SHALL APPLY A UNIFORM LAYER OF NO GREATER THAN 6-INCHES OF CLEAN ORGANIC RICH TOPSOIL, SCREENED LOAM, OR COMPOST TO PROVIDE SUITABLE GROWING SUBSTRATE FOR NATIVE PLANTINGS AND SEED MIXES.
  - FOLLOWING APPLICATION OF ORGANIC TOPSOIL, THE CONTRACTOR SHALL REPLANT AND SEED THE AREA IN ACCORDANCE WITH THE NATIVE PLANTING SCHEDULE HEREIN.
  - FOLLOWING INSTALLATION OF NATIVE PLANTS, APPLY A 2:1 RATIO BLEND OF NEW ENGLAND RESTORATION SEED MIX FOR DRY SITES (10 LBS.) AND NEW ENGLAND CONSERVATION/WILDLIFE SEED MIX (4 LBS.) AVAILABLE FROM NEW ENGLAND WETLAND PLANTS, INC.
  - FOLLOWING APPLICATION OF SEED MIX, APPLY A THIN UNIFORM LAYER OF STRAW MULCH TO ALL SEEDED AREAS.

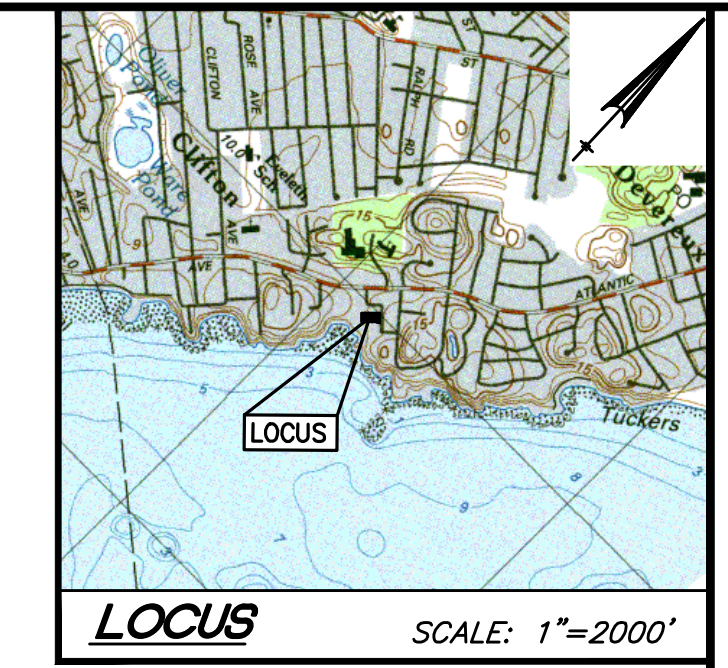


**Native Planting Plan - Restoration Area (1,276 ft²)**

Common Name	Scientific Name (Wetland Indicator)	Quantity	Size	Off Centering (OC)
beach plum	<i>Prunus maritima</i> (UPL)	15	Min 4' height	8'
sweet pepperbush	<i>Clethra alnifolia</i> (FAC)	15	Min 4' height	8'
bearberry	<i>Arctostaphylos uva-ursi</i> (UPL)	30	#1 pots	4'
smooth aster	<i>Symphoricarum lavae</i> (FAC)	75	2"-plugs	4'

**Seed Mix** - Apply 10 lbs NEWP Restoration Mix for Dry Sites blended with 4 lbs NEWP Conservation/Wildlife Seed Mix  
 \*NEWP - New England Wetland Plants, Inc.

SCALE: 1" = 10'



**PERMIT PLAN SITE**

9 Crown Way  
 Marblehead, Massachusetts 01945

ASSESSORS:

PARCEL ID  
 28-9-0

PREPARED FOR:

**9 CROWN WAY LLC**

9 Crown Way  
 Marblehead, Massachusetts 01945

**HANCOCK ASSOCIATES**

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03/16/2026

NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION

DATE: 03/16/26 DESIGN BY: JJP  
 SCALE: 1" = 10' DRAWN BY: JTE/JLP  
 APPROV. BY: JJP CHECK BY: KAC

**SITE PLAN**

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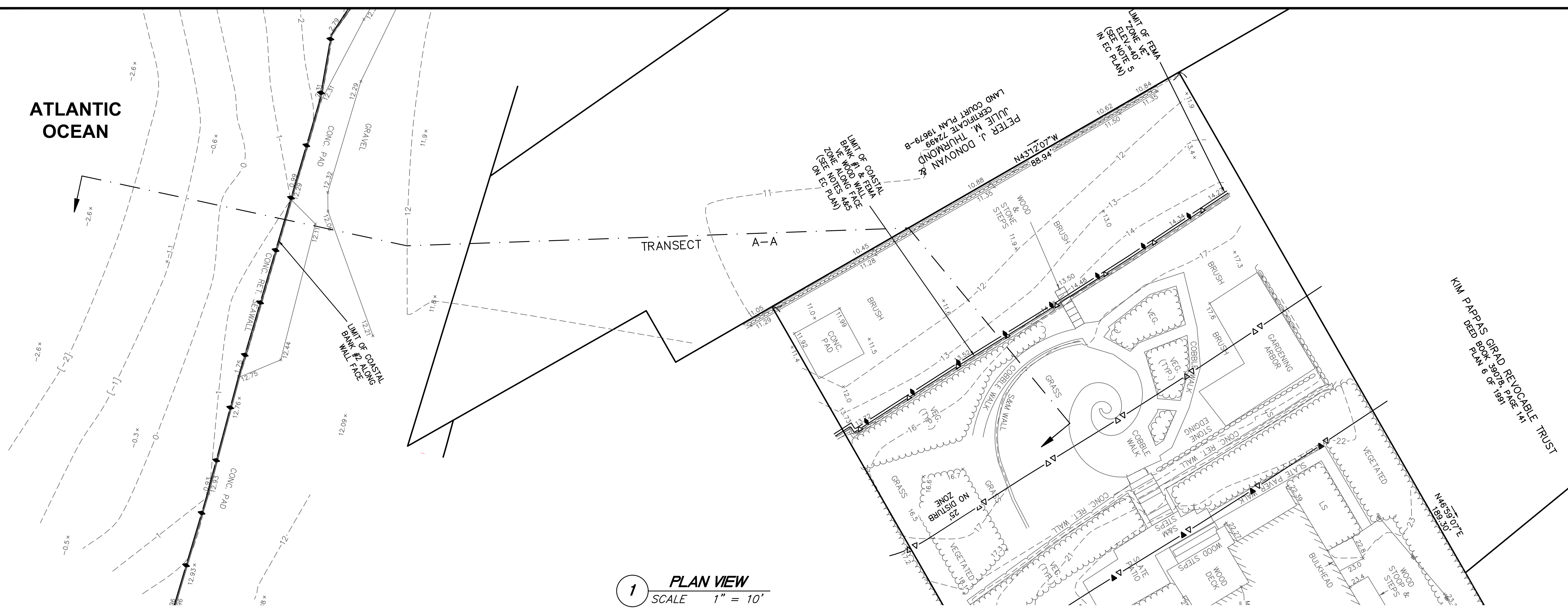
LAYOUT: SITE PLAN

SHEET: 4 OF 6

PROJECT NO.: 27900

**C4**

ATLANTIC OCEAN



**PERMIT  
PLAN  
SITE**

9 Crown Way  
Marblehead, Massachusetts 01945

ASSESSORS:

PARCEL ID  
28-9-0

PREPARED FOR:

**9 CROWN  
WAY LLC**

9 Crown Way  
Marblehead, Massachusetts 01945

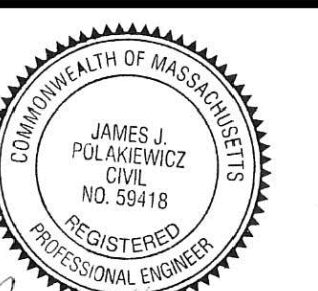
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*James J. Polakiewicz*  
03/16/2026

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APPRVD. BY: JJP CHECK BY: KAC

**DETAIL  
SHEET**

PLT DATE: Mar 13, 2026 11:02 am  
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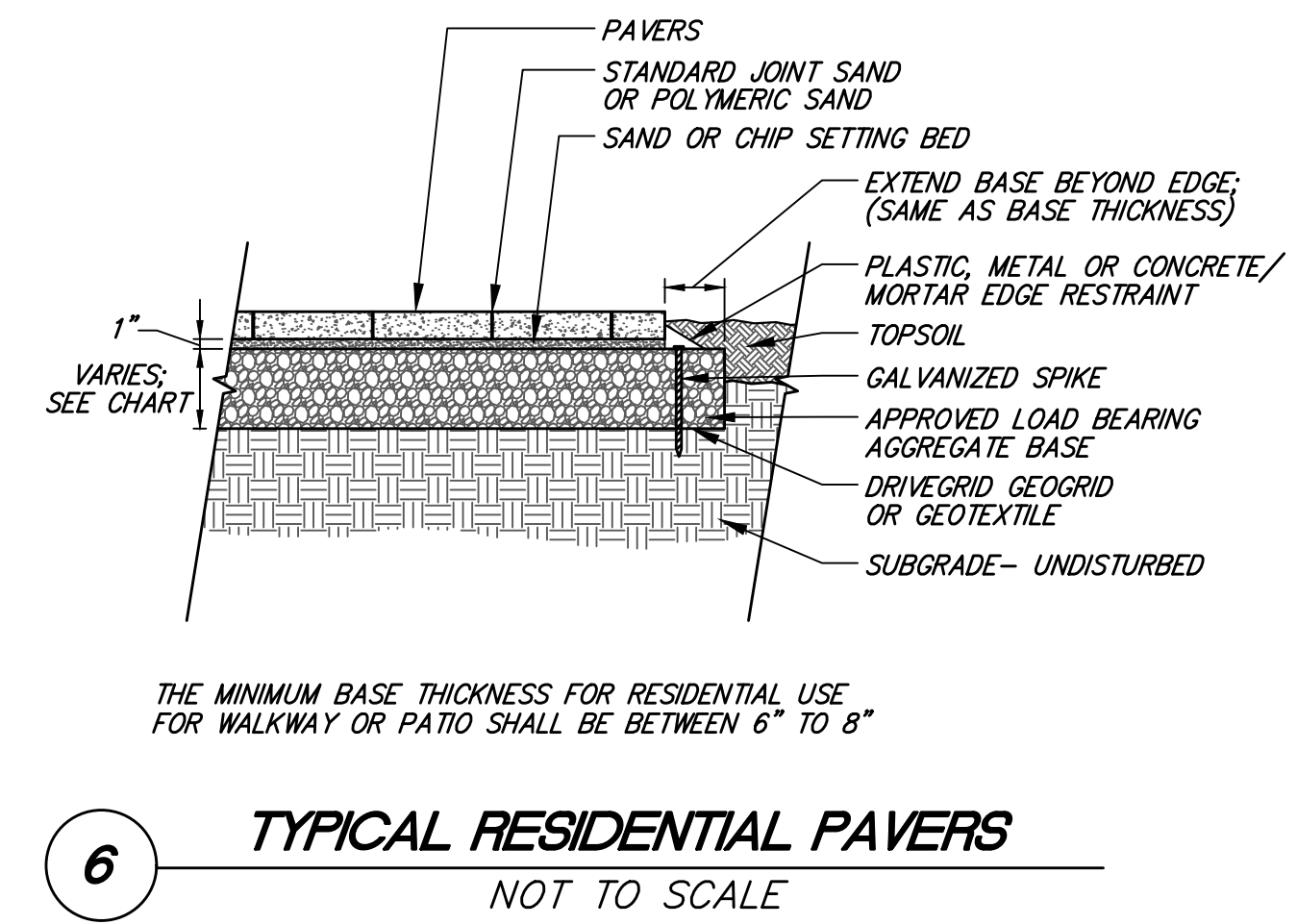
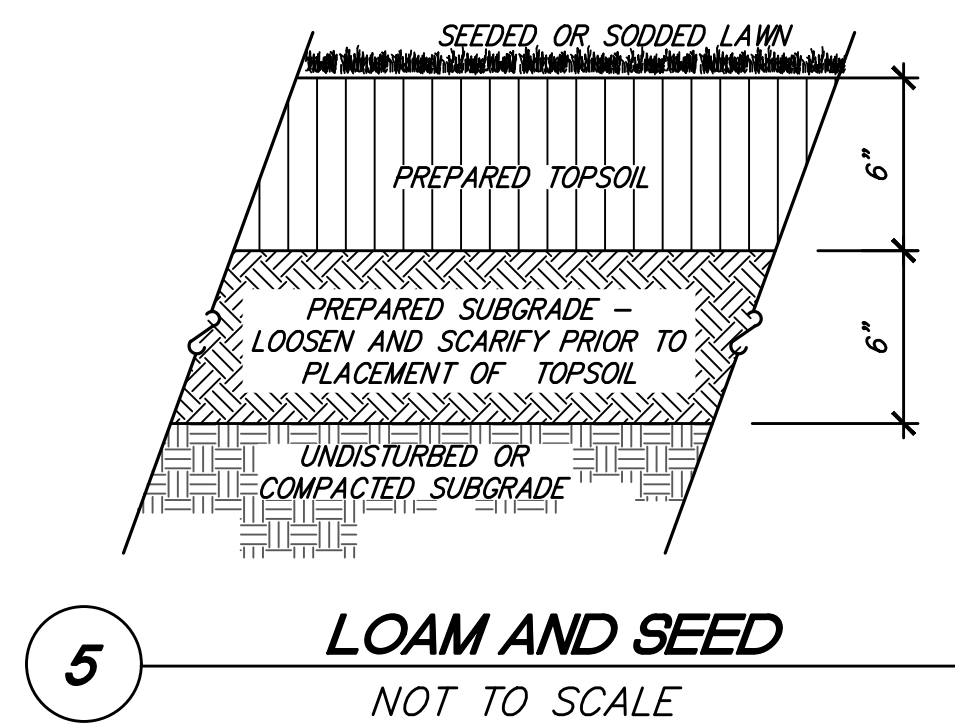
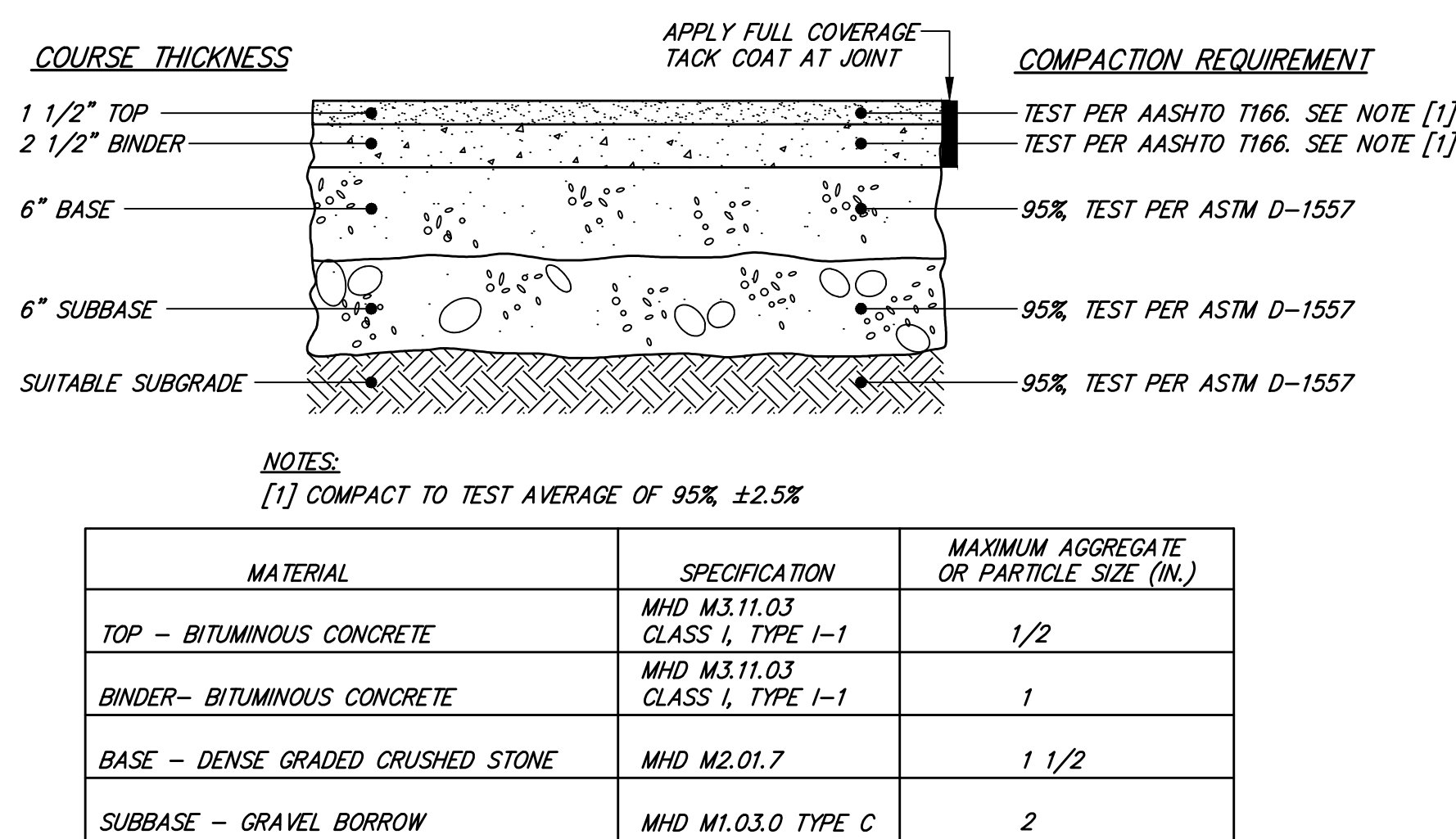
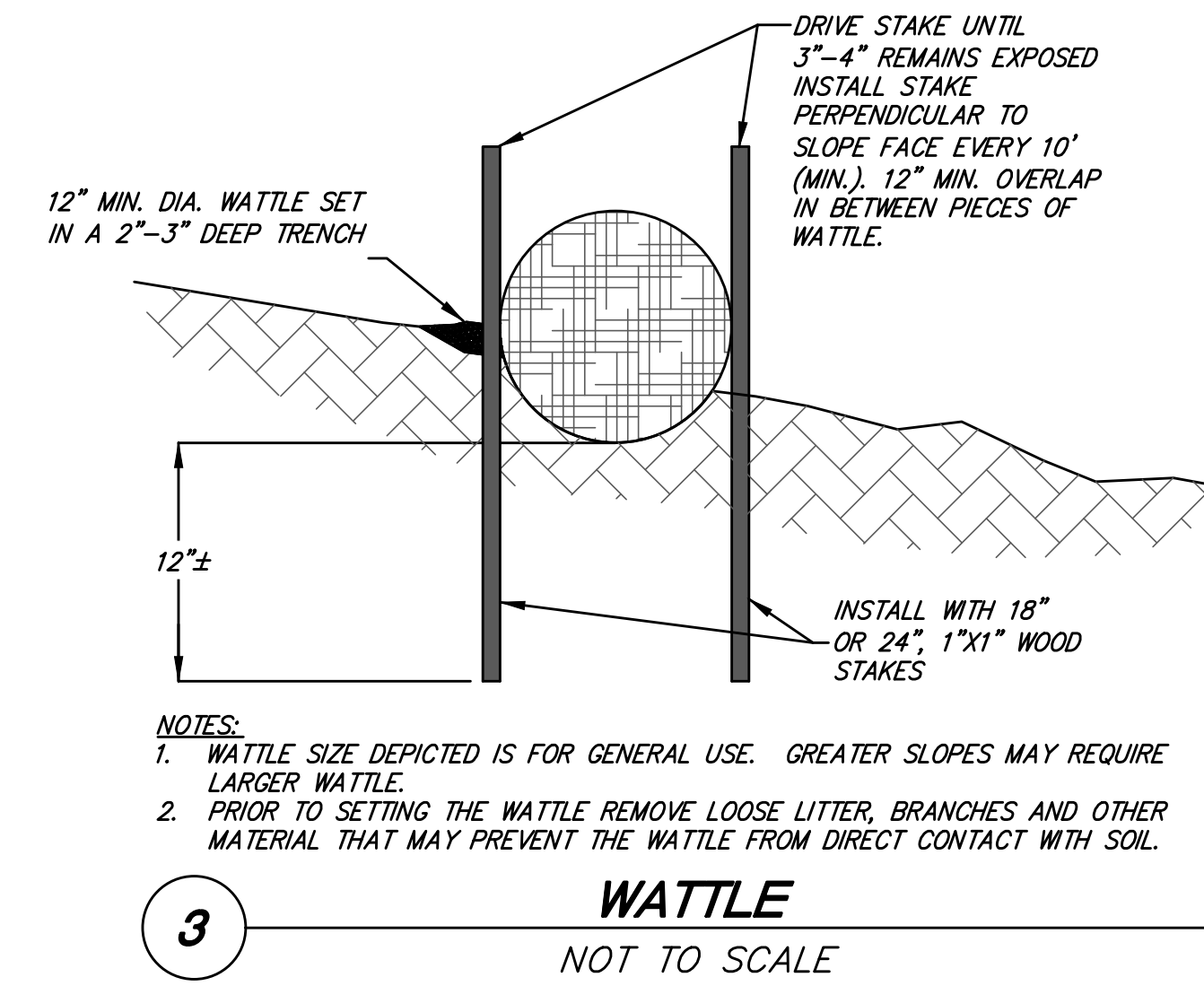
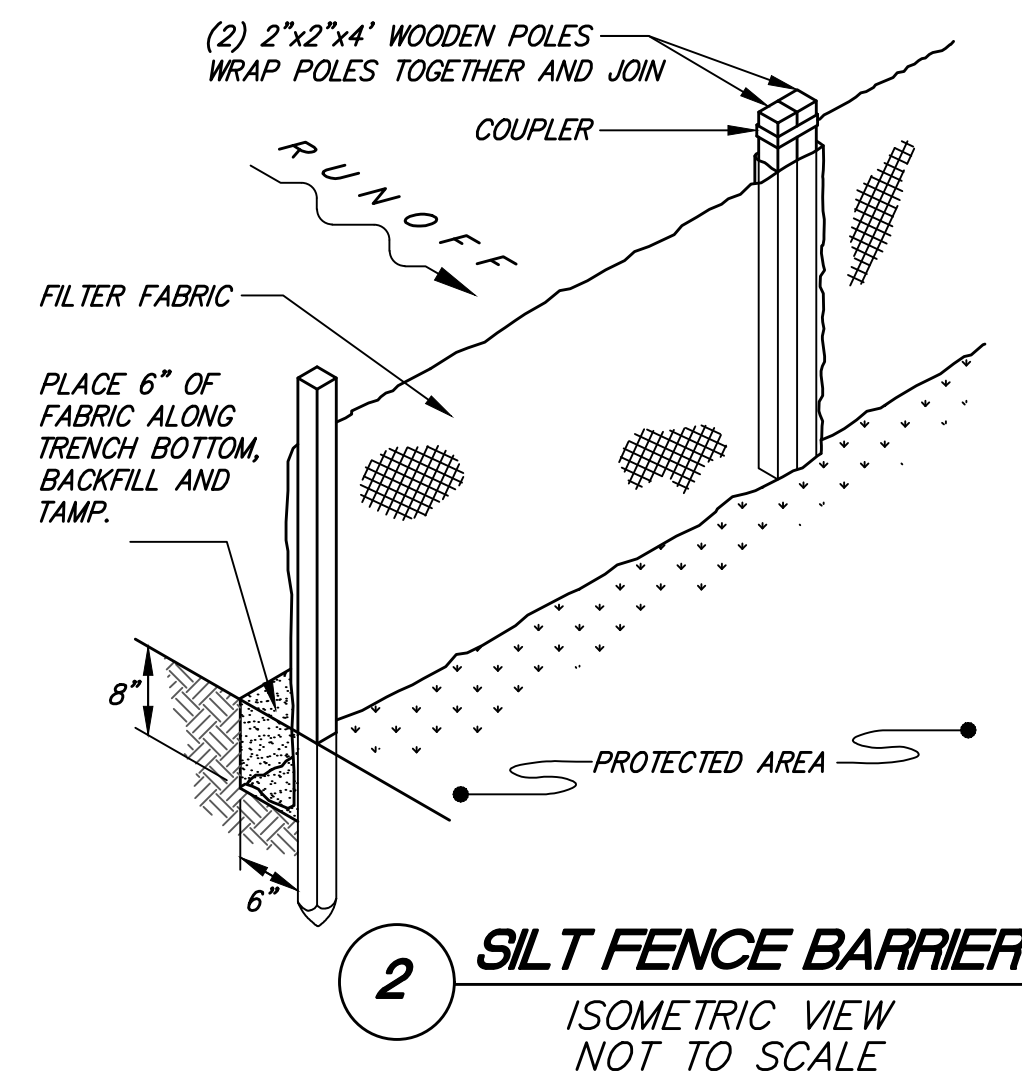
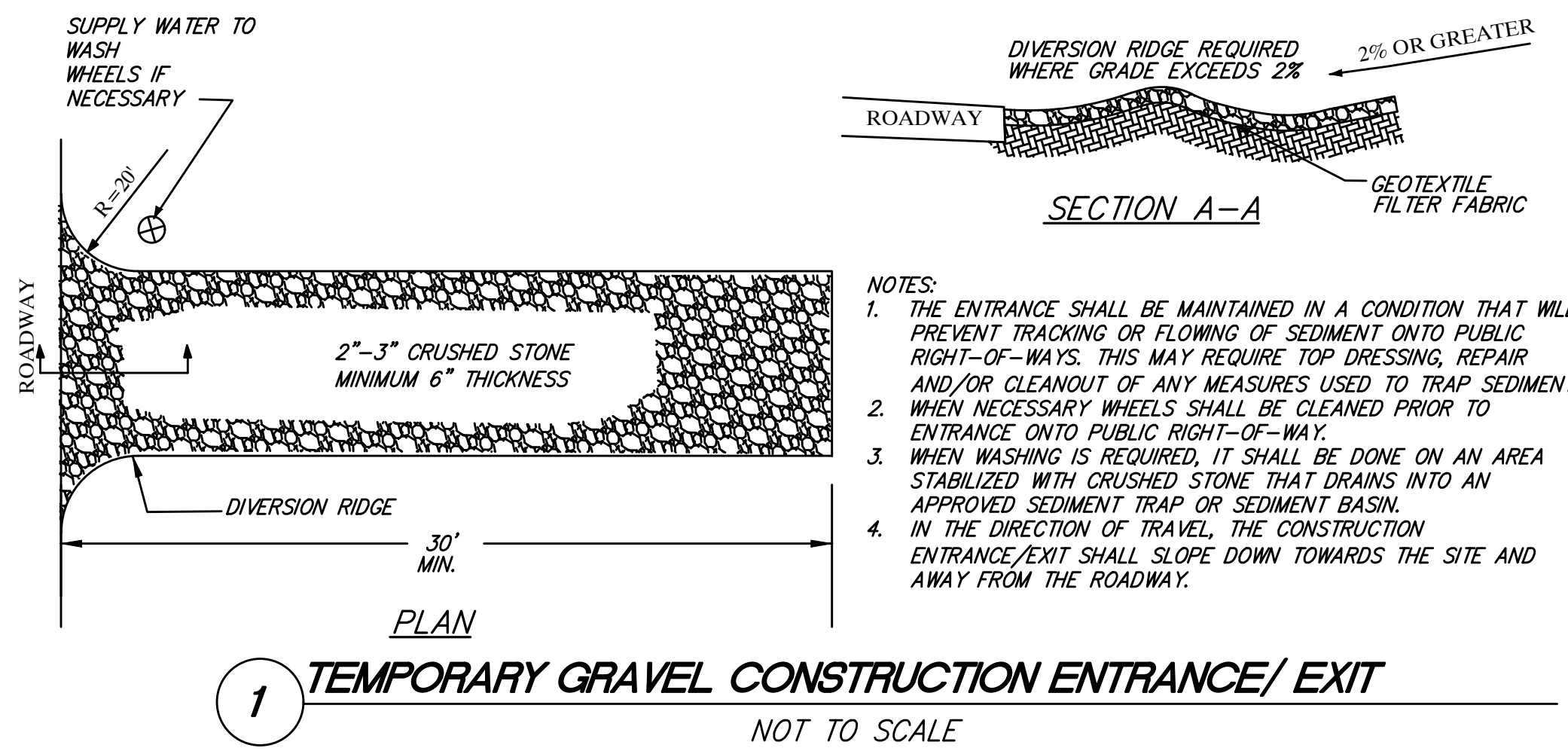
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LAYOUT: DETAIL

SHEET: 6 OF 6

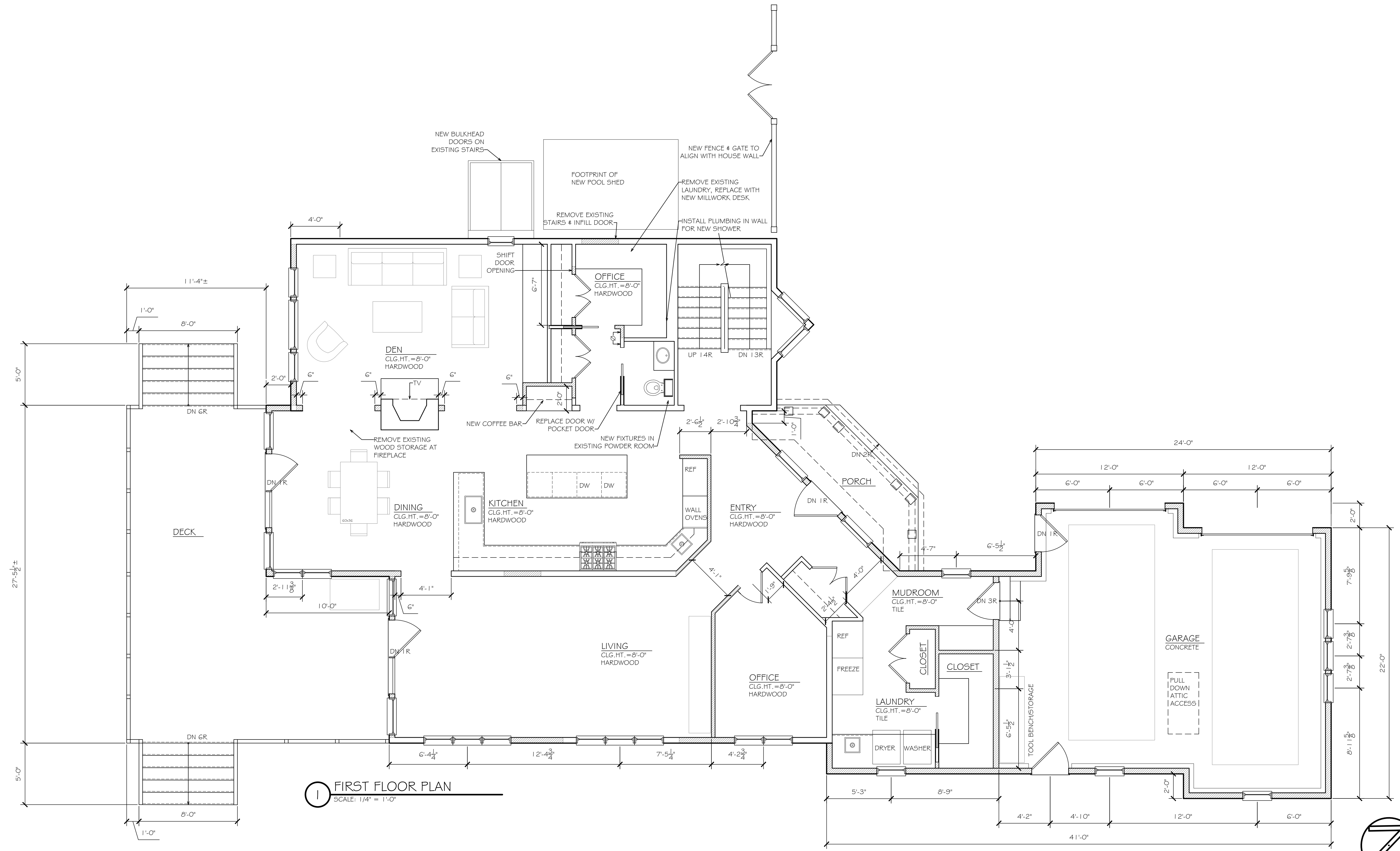
PROJECT NO.: **27900**

**C6**



DEMOLITION / CONSTRUCTION LEGEND	
	EXISTING PARTITIONS TO REMAIN
	EXISTING PARTITIONS TO BE REMOVED
	NEW WALL CONSTRUCTION
	E.T.R. EXISTING TO REMAIN

- GENERAL NOTES:
1. ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
  2. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY QUESTIONABLE STRUCTURAL CONDITIONS PRIOR TO AND DURING DEMOLITION WORK. TEMPORARY SHORING SHALL BE PROVIDED AT ALL OF THESE CONDITIONS. DO NOT REMOVE ANY LOAD BEARING ELEMENTS WITHOUT PROVIDING TEMPORARY SUPPORT.
  3. IF DURING THE NORMAL COURSE OF DEMOLITION AND CONSTRUCTION AREAS OF WET OR ROTTING WOOD ARE FOUND, THOSE AREAS SHALL BE REPAIRED / REPLACED.
  4. SPECIAL CARE IS TO BE TAKEN IN PRESERVING EXISTING FEATURES TO REMAIN INTACT.
  5. ALL WORK AND PROPERTY SHALL BE PROTECTED FROM EXPOSURE TO THE WEATHER.
  6. ALL POSSIBLE PRECAUTIONS SHALL BE TAKEN TO ENSURE THE PROTECTION OF THE PUBLIC, WORKERS AND PROPERTY FROM CONSTRUCTION HAZARDS.
  7. CONTRACTOR SHALL INSTALL ALL APPLIANCES NOTED, TO BE PROVIDED BY OWNER.
  8. REFER TO FLOOR PLANS FOR ALL FLOORING INFORMATION.
  9. ALL PATCHED WOOD FLOORS TO BE TOOTHED IN.
  10. UNLESS NOTED OTHERWISE WINDOWS ARE TO BE CENTERED IN EXISTING ROUGH OPENINGS.



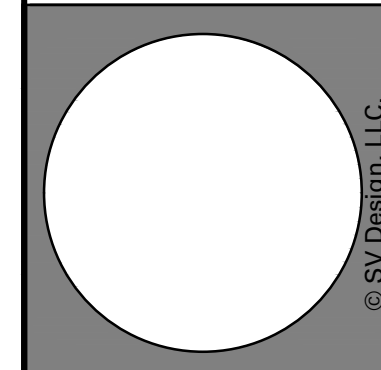
1 FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

Planning Board Submission 16 March 2026

Revisions	Issue Date	Description

Proposed First Floor Plan

9 Crown Way LLC.  
9 Crown Way, Marblehead, MA



A1.1

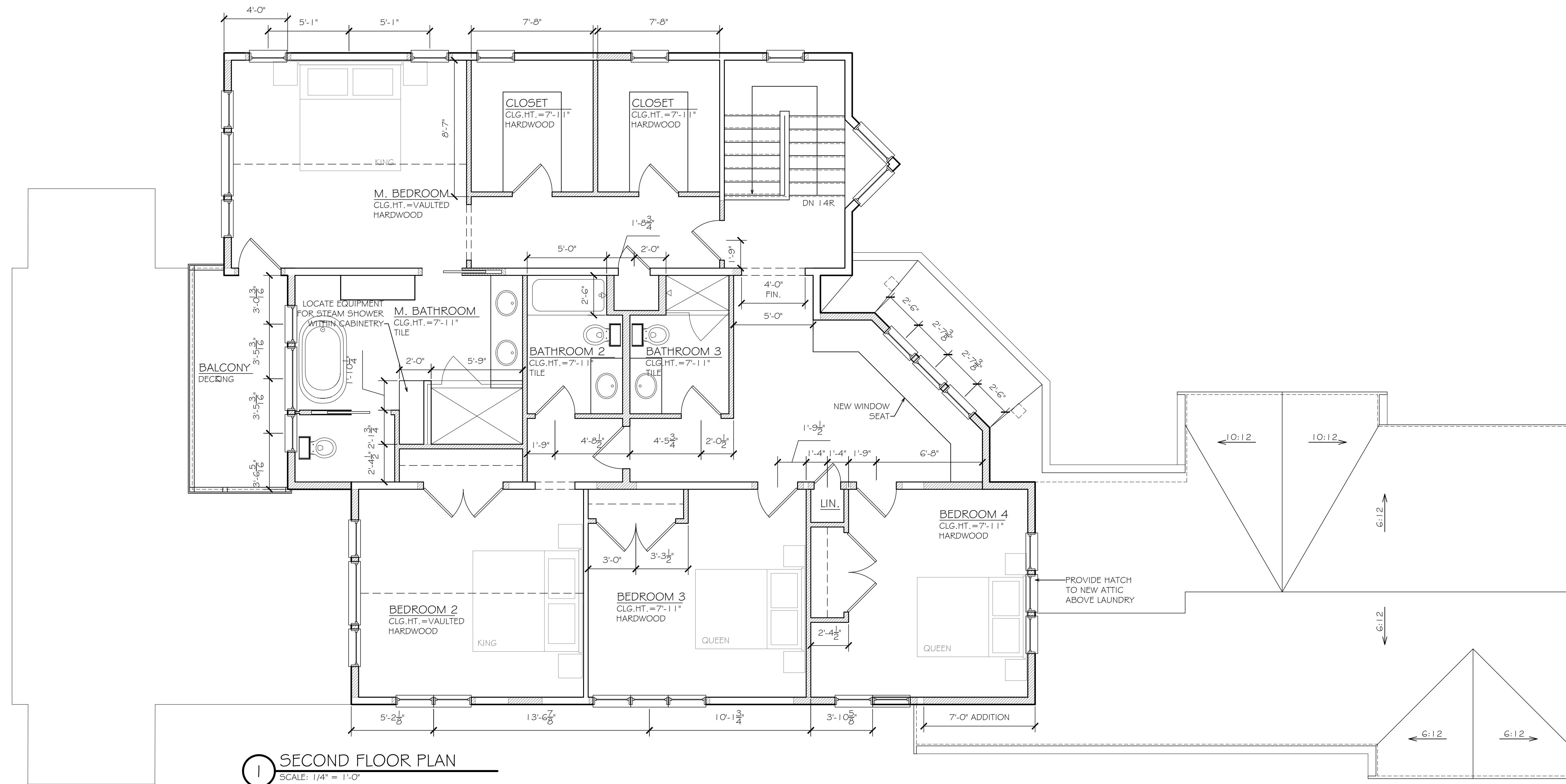
Proposed Renovation and Addition to:  
9 Crown Way LLC.  
9 Crown Way, Marblehead, MA  
SV DESIGN  
Beverly, Massachusetts 01915  
www.svdesign.com  
t 978.927.3745  
Drawn By: MEG  
Checked By: TSS  
Plot Date: 12/10/2025

DEMOLITION / CONSTRUCTION LEGEND

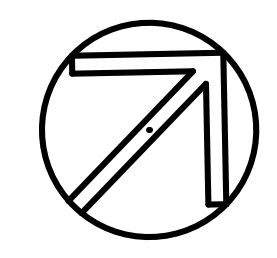
	EXISTING PARTITIONS TO REMAIN
	EXISTING PARTITIONS TO BE REMOVED
	NEW WALL CONSTRUCTION
	E.T.R. EXISTING TO REMAIN

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2. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY QUESTIONABLE STRUCTURAL CONDITIONS PRIOR TO AND DURING DEMOLITION WORK. TEMPORARY SHORING SHALL BE PROVIDED AT ALL OF THESE CONDITIONS. DO NOT REMOVE ANY LOAD BEARING ELEMENTS WITHOUT PROVIDING TEMPORARY SUPPORT.
3. IF DURING THE NORMAL COURSE OF DEMOLITION AND CONSTRUCTION AREAS OF WET OR ROTTING WOOD ARE FOUND, THOSE AREAS SHALL BE REPAIRED / REPLACED.
4. SPECIAL CARE IS TO BE TAKEN IN PRESERVING EXISTING FEATURES TO REMAIN INTACT.
5. ALL WORK AND PROPERTY SHALL BE PROTECTED FROM EXPOSURE TO THE WEATHER.
6. ALL POSSIBLE PRECAUTIONS SHALL BE TAKEN TO ENSURE THE PROTECTION OF THE PUBLIC, WORKERS AND PROPERTY FROM CONSTRUCTION HAZARDS.
7. CONTRACTOR SHALL INSTALL ALL APPLIANCES NOTED, TO BE PROVIDED BY OWNER.
8. REFER TO FLOOR PLANS FOR ALL FLOORING INFORMATION.
9. ALL PATCHED WOOD FLOORS TO BE TOOTHED IN.
10. UNLESS NOTED OTHERWISE WINDOWS ARE TO BE CENTERED IN EXISTING ROUGH OPENINGS.

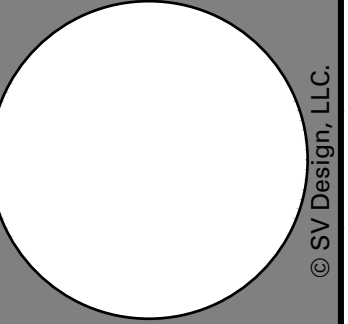


1 SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

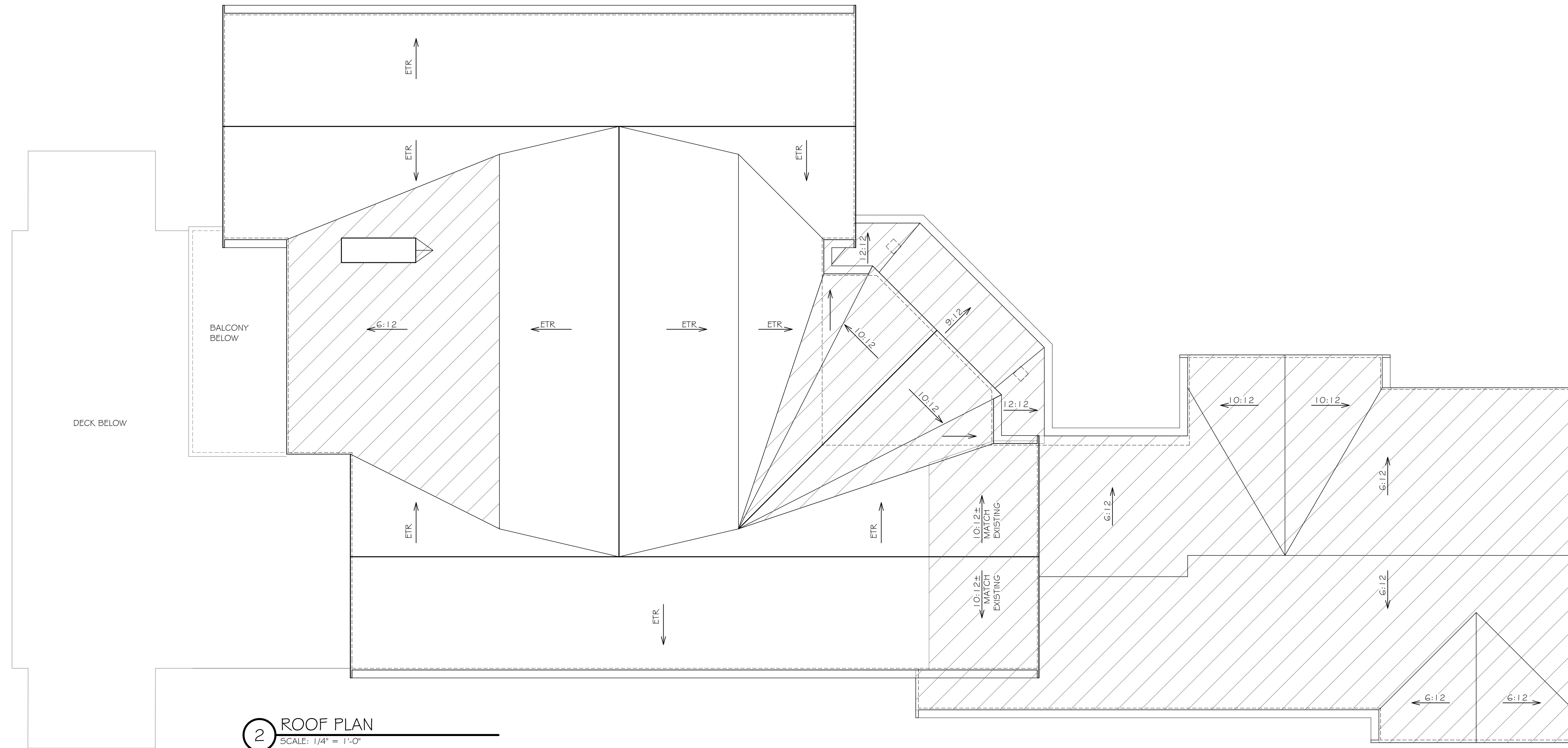



Proposed Second Floor Plan

9 Crown Way LLC.  
9 Crown Way, Marblehead, MA  
SV DESIGN Beverly, Massachusetts 01915  
www.svdesign.com  
t 978.927.3745

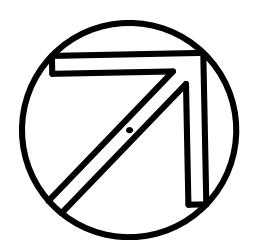


Revisions	Issue Date	Description
△		



- ROOF CONSTRUCTION NOTES:**
1. ROOF TO BE FULLY SPRAY-FOAM INSULATED, UNVENTED ROOF CONSTRUCTION
  2. INSTALL NEW METAL FLASHING AT ALL VALLEYS, RIDGES, & ROOF / WALL INTERSECTIONS; COVERAGE TO BE MINIMUM 6" PER LEG
  3. INSTALL ICE & WATER SHIELD OVER ENTIRE ROOF
-  NEW ROOF CONSTRUCTION

**2 ROOF PLAN**  
SCALE: 1/4" = 1'-0"

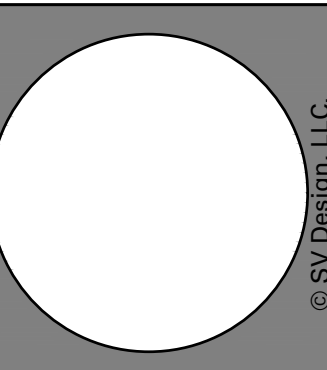


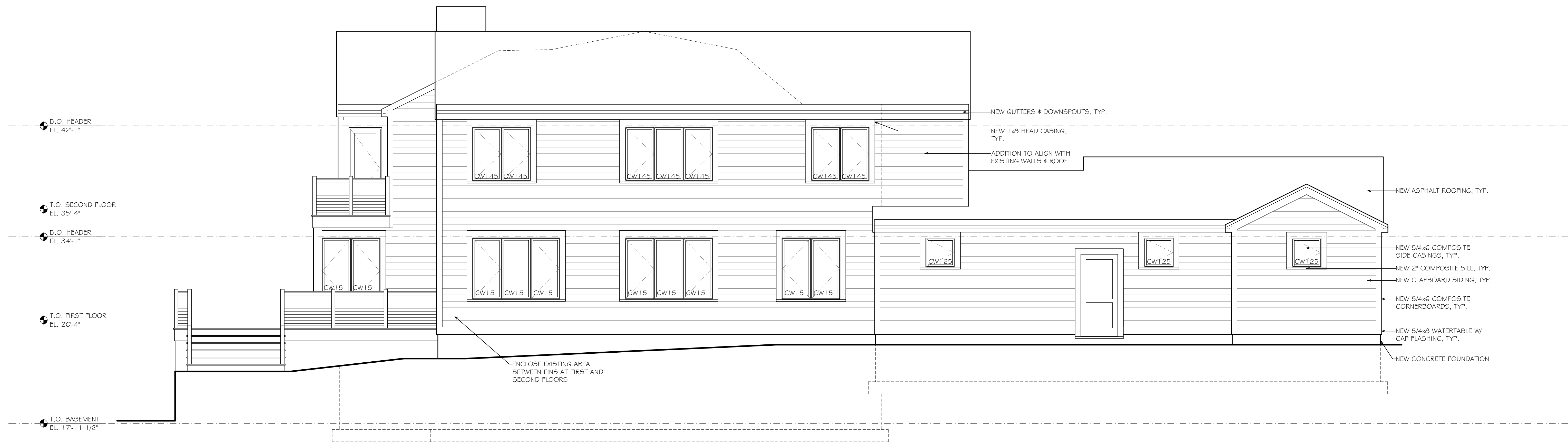
Revisions	Issue Date	Description
△		

**Proposed Roof Plan**

SV DESIGN  
 126 Dodge Street  
 Beverly, Massachusetts 01915  
 www.svdesign.com  
 t 978.927.3745  
 Drawn By: MEG  
 Checked By: TSS  
 Plot Date: 12/9/2025

Proposed Renovation and Addition to:  
**9 Crown Way LLC.**  
**9 Crown Way, Marblehead, MA**





1 PROPOSED SIDE ELEVATION  
 SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



3 PROPOSED FRONT ENTRY  
 SCALE: 1/4" = 1'-0"

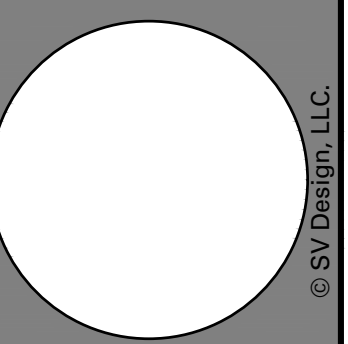
Revisions	Issue	Description

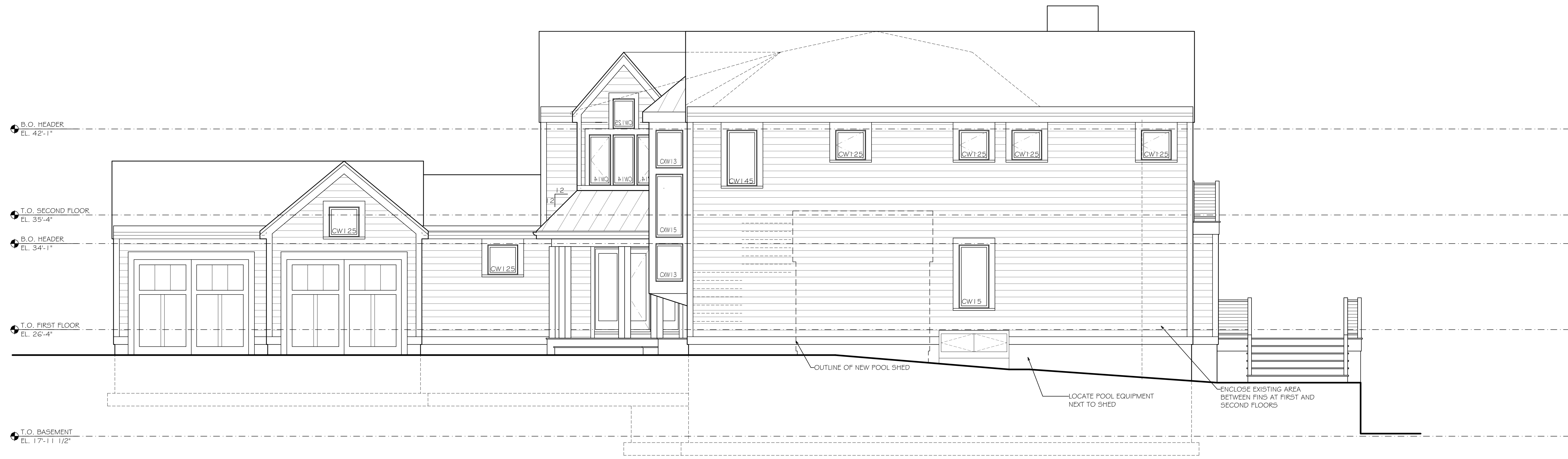
Proposed Exterior Elevations

Scale:  
 Drawn By: MEG  
 Checked By: TSS  
 Plot Date: 12/9/2025

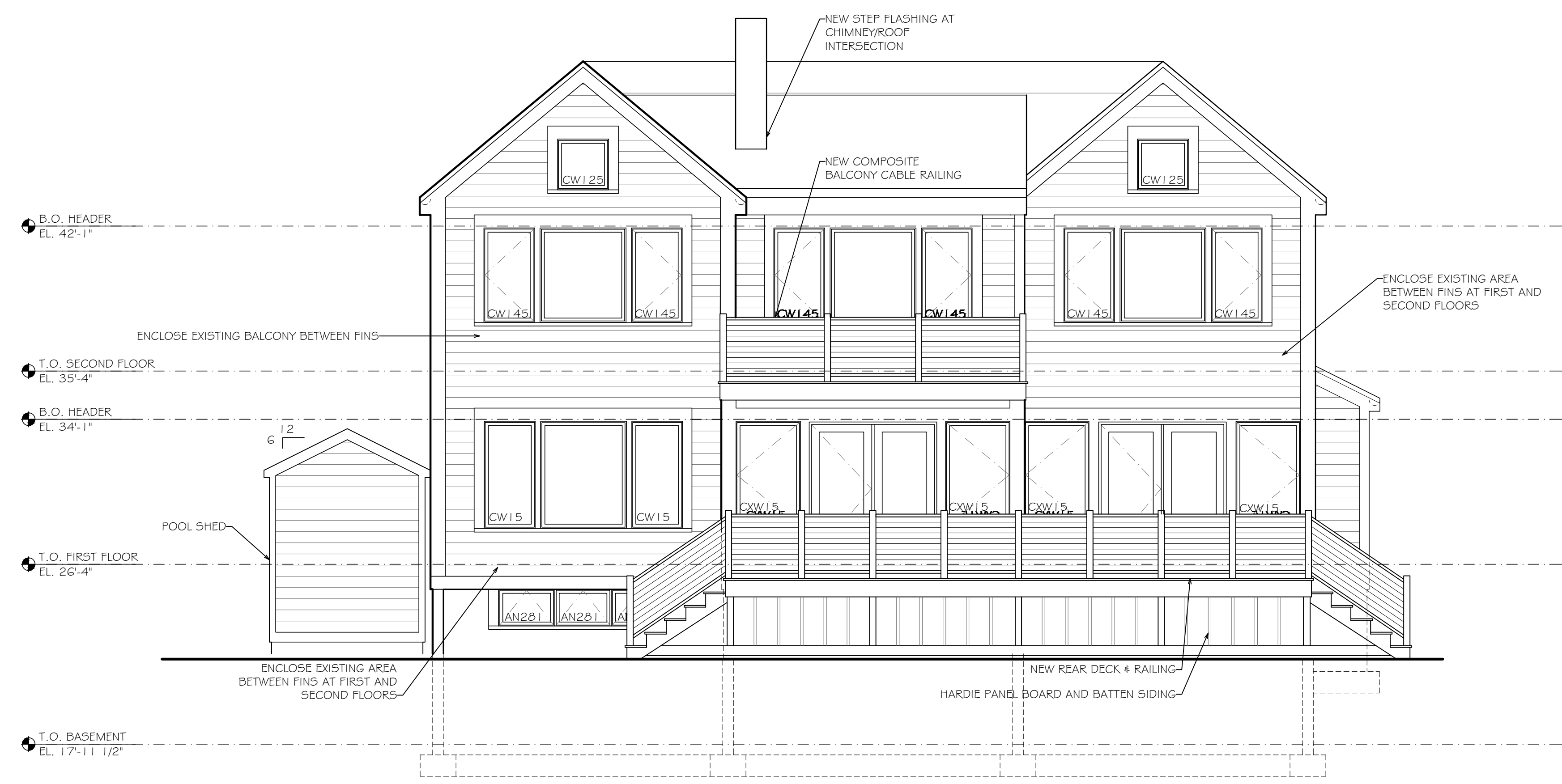
Proposed Renovation and Addition to:  
**9 Crown Way LLC.**  
**9 Crown Way, Marblehead, MA**

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1 PROPOSED SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

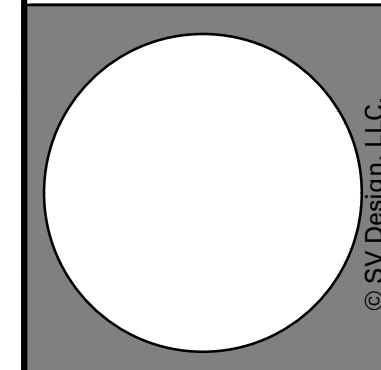


2 PROPOSED REAR ELEVATION  
SCALE: 1/4" = 1'-0"

Revisions	Issue	Description
△	Date:	

Proposed Exterior Elevations  
Scale: 1/4" = 1'-0"  
Drawn By: MEK  
Checked By: TSS  
Plot Date: 12/10/2025

Proposed Renovation and Addition to:  
**9 Crown Way LLC.**  
**9 Crown Way, Marblehead, MA**  
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