



TOWN SEAL
tel: 781-631-1529

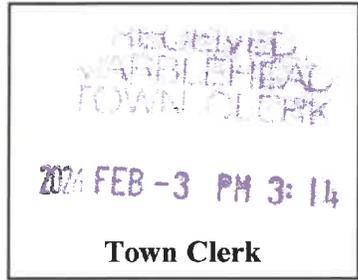
fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 11 Village Street

Assessor Map(s) 109

Parcel Number(s) 25

OWNER INFORMATION

Signature _____ date _____

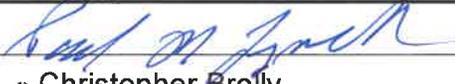
Name (printed) Christopher Brolly

Address 11 Village Street, Marblehead, MA 01945

Phone Numbers: home 617-480-8462 work _____

E-mail cbrolly@gamil.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature  date 2/2/26

Name (printed) Christopher Brolly

Address c/o Paul M. Lynch, Esq. Five Spring Street, Marblehead, MA 01945

Phone Numbers: home _____ work 781-704-8559

E-mail lynch@marbleheadlaw.com fax _____

Reviewed by
Building Department
For Zoning Board
Of Appeals

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Special Permit to add an addition to the existing single family dwelling in the General

Residence District with less than the side yard and front yard setbacks.

The addition will exceed the allowed 10% increase for a non-conforming building.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3)  2-3-2026

2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION

Revision Date: 12-02-2020

Page 2 of 3

Project Address 11 Village Street Map(s) / Parcel(s) 109/25

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR **GR** SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Single-Family Dwelling

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes No (explain) _____

PROPOSED CHANGE OF USE

No Yes (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes No

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- Lot Area - Less than required (§200-7 and Table 2)
- Lot Width - Less than required (§200-7)
- Frontage - Less than required (§200-7 and Table 2)
- Front Yard Setback - Less than required (Table 2)
- Rear Yard Setback - Less than required (Table 2)
- Side Yard Setback - Less than required (Table 2)
- Height - Exceeds maximum allowed (§200-7 and Table 2)
- Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
- Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- Other Non-conformities (explain) _____
- No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- Lot Area - Less than required (§200-7 and Table 2)
- Lot Width - Less than required (§200-7)
- Frontage - Less than required (§200-7 and Table 2)
- Front Yard Setback - Less than required (Table 2)
- Rear Yard Setback - Less than required (Table 2)
- Side Yard Setback - Less than required (Table 2)
- Height - Exceeds maximum allowed (§200-7 and Table 2)
- Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
- Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
- Other Non-conformities (explain) _____
- No New Dimensional Non-conformities

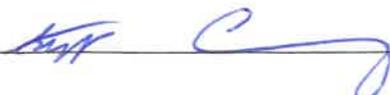
Reviewed by
Building Department
For Zoning Board
Of Appeals

ADDITIONAL HEARINGS REQUIRED

Conservation Commission Yes No
Historic District Commission Yes No
Planning Board Yes No

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes No (explain) _____

Building Official  Date 2-3-2020

Town of Marblehead
ZBA-APPLICATION
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 11 Village Street

Map(s) / Parcel(s) 109/25

NET OPEN AREA (NOA)

Lot area = A

EXISTING

PROPOSED

Area of features

footprint of accessory building(s)

11,962'

11,962

footprint of building

25

25

footprint of deck(s), porch(es), step(s), bulkhead(s)

1,158

1,354

number of required parking spaces 2 x (9'x 18' per space)

280

297

area of pond(s), or tidal area(s) below MHW

324

324

other areas (explain) _____

0

0

Sum of features = B

0

0

1,787

2,000

Net Open Area (NOA) = (A - B)

10,175

9,962

GROSS FLOOR AREA (GFA)

accessory structure(s)

25

25

basement or cellar (area >5' in height)

543

543

1st floor (12' or less in height) **NOTE:** [for heights exceeding

1,158

1,354

2nd floor (12' or less in height) 12' see definition

1,158

1,354

3rd floor (12' or less in height) of STORY §200-7]

0

948

4th floor (12' or less in height)

0

0

attic (area >5' in height)

0

0

area under deck (if >5' in height)

Reviewed by
 Building Department
 For Zoning Board
 Of Appeals

120

120

roofed porch(es)

25

25

Gross Floor Area (GFA) = sum of the above areas

3,027

4,369

Proposed total change in GFA = (proposed GFA - existing GFA) = 1,342

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 44 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 1:3.95

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1:2.28

This worksheet applies 1. plan by/dated Zoning Set 12/14/2025

to the following plan(s): 2. plan by/dated RealMapInfo, LLC 1/8/2026

3. plan by/dated _____

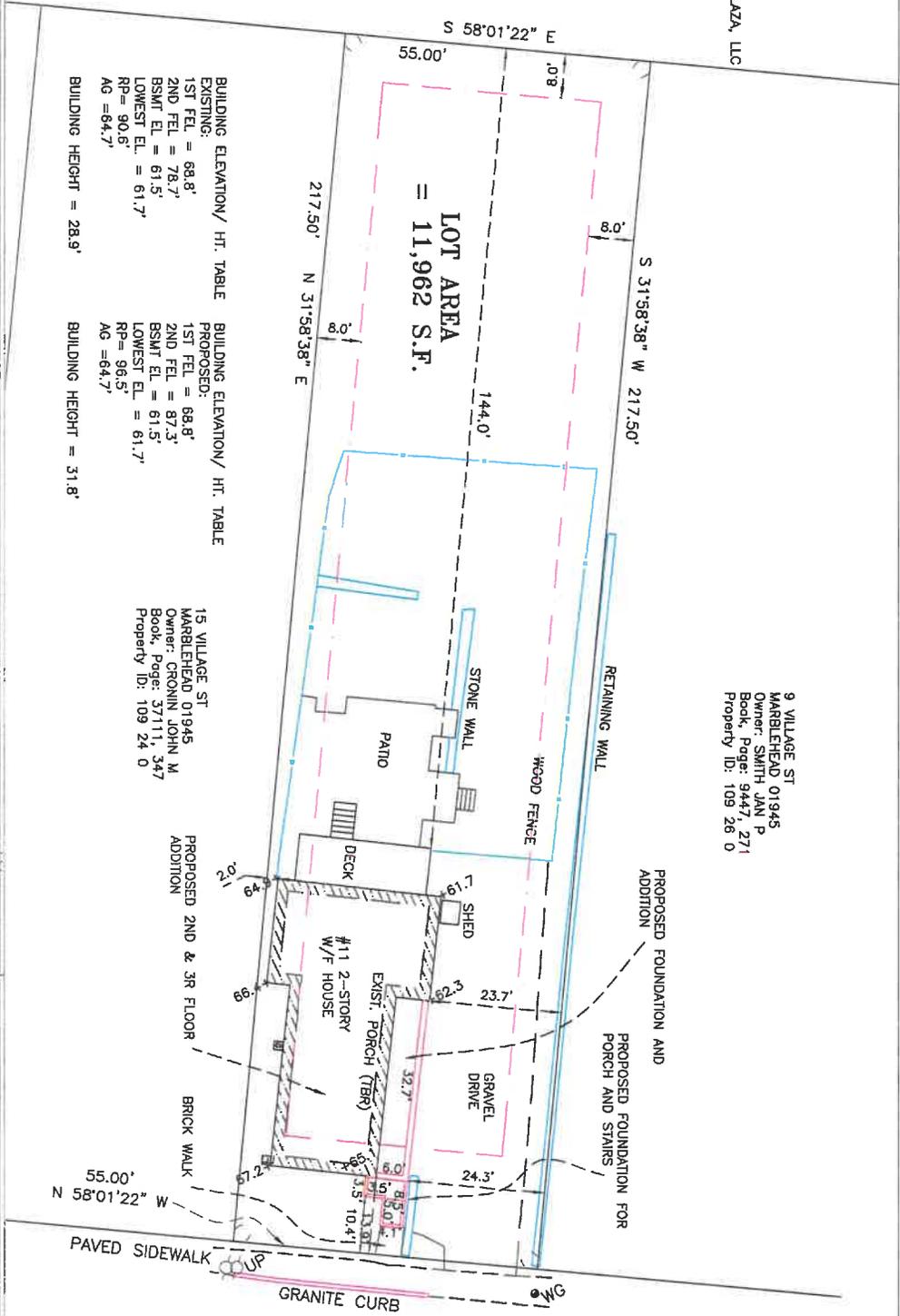
Building Official _____



Date 2-3-2026

14 BESSOM ST
MARBLEHEAD 01945
Owner: 14-18 BESSOM PLAZA, LLC
Book, Page: Z8995, 75
Property ID: 109 35 0

9 VILLAGE ST
MARBLEHEAD 01945
Owner: SMITH JAN P
Book, Page: 9447, 271
Property ID: 109 26 0



EXISTING BUILDING ELEVATION/ HT. TABLE:

1ST FEL = 68.8'
2ND FEL = 78.7'
BSMT EL = 61.5'
LOWEST EL = 61.7'
RP = 90.6'
AG = 84.7'

PROPOSED BUILDING ELEVATION/ HT. TABLE:

1ST FEL = 68.8'
2ND FEL = 87.3'
BSMT EL = 61.5'
LOWEST EL = 61.7'
RP = 96.5'
AG = 84.7'

PROPOSED 2ND & 3RD FLOOR ADDITION

BRICK WALK

PAVED SIDEWALK

GRANITE CURB

VILLAGE STREET (PUBLIC - 40' WIDE)

FLOOD ZONE NOTE:
PROPERTY LIES IN ZONE X OF FIRM MAP
2509005516 EFFECTIVE DATE: 07/18/2014
PROPERTY DOES NOT LIE WITHIN A SPECIAL
FLOOD HAZARD AREA

PID: 109 23 00	ZONING DISTRICT: GENERAL RESIDENCE
REQUIRED: MIN. LOT AREA = 7900 S.F.	EXISTING: MIN. LOT AREA = 11,962 S.F.
REQUIRED: MIN. LOT FRONTAGE = 50'	EXISTING: MIN. LOT FRONTAGE = 55.00'
REQUIRED: MINIMUM FRONT YARD SETBACKS: = 20.0'	EXISTING: MINIMUM FRONT YARD SETBACKS: = 13.9'
REQUIRED: FRONT SIDE YARD = 8.0'	EXISTING: FRONT SIDE YARD = 23.7'
REQUIRED: LEFT SIDE YARD = 8.0'	EXISTING: LEFT SIDE YARD = 2.0'
REQUIRED: REAR YARD = 8.0'	EXISTING: REAR YARD = 14.5.0'
REQUIRED: MAX. BUILDING HT. = 35'	EXISTING: MAX. BUILDING HT. = 31.3'



PLAN PREPARED FOR
PROPERTY OWNER(S):
CHRISTOPHER BROTTY
11 VILLAGE STREET
MARBLEHEAD, MA 01945

FIELD SURVEY: JP/GC CUL. M.F. REVIEW: IC

RealMapInfo, LLC
420 LAKESIDE AVENUE SUITE 103
MARLBOROUGH, MA 01752
REALMAPINFO.COM 774-570-0041

PROPOSED ADDITION
PLOT PLAN OF LAND IN
MARBLEHEAD, MASS

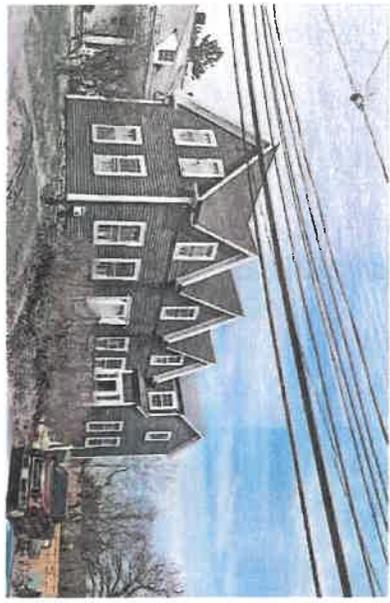
SCALE: 1"=40'

DATE: 01/09/2014

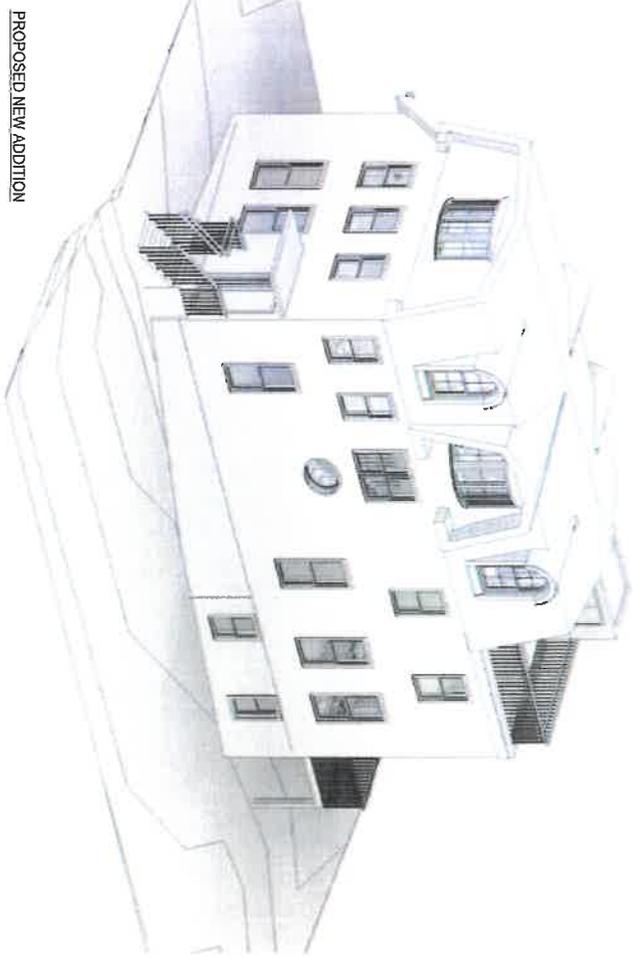
0"=10' REF: 8900K: 10819 PAGE: 13

RECORDED & ESSEX COUNTY REGISTERED

**BROLLY RESIDENCE
ADDITION & RENOVATION
11 VILLAGE STREET
MARBLEHEAD, MA 01945**



EXISTING PHOTO



PROPOSED NEW ADDITION



PROJECT LOCATION MAP

GENERAL SCOPE OF WORK:

DEMOLITION OF EXISTING ROOFS AND EAST FACING EXTERIOR ELEVATION TO TO ACCOMMODATE NEW THIRD FLOOR AND EXPANDED FOOTPRINT TO THE EAST. REMOVE INTERIOR CURVED STAIR FROM FLOOR 1 TO 2. SELECTIVE INTERIOR DEMOLITION REQUIRED FOR NEW INTERIOR STAIRS AND STRUCTURE. REMOVE ALL EXTERIOR WOOD SIDING AND WINDOWS FOR REPLACEMENT. NO ANTICIPATED DEMOLITION AT THE BASEMENT. SEE ROOMS ON FLOORS 1 AND 2 TO REMAIN AND ARE TO BE PROTECTED DURING CONSTRUCTION.

NEW CONSTRUCTION OF EXPANDED BASEMENT WITH NEW CONCRETE FOUNDATION AND FOOTINGS. NEW WOOD FLOOR FRAMING, SUBFLOOR AND FINISHES AT FLOORS 1 AND 2 FLOOR TO ACCOMMODATE EAST EXPANSION. NEW WOOD FRAME STRUCTURE AND NEW FLOOR 3 FLOOR FRAMING. NEW WOOD FRAME INSULATED EXTERIOR WALL AT THE EAST AND PARTIAL SOUTH ELEVATIONS. NEW WOOD FRAME INSULATED ROOF ASSEMBLY, DORMERS, AND ROOF DECK. NEW INSULATED WINDOWS, EXTERIOR DOORS, AND SIDING AT EXTERIOR. NEW INTERIOR PARTITIONS, STAIRS, FINISHES, DOORS, AND FLOOR 3 BATHROOM. NEW / EXPANDED MECHANICAL ELECTRICAL AND PLUMBING SYSTEMS DESIGN BY CONTRACTOR.

ZONING AND PERMIT SET DRAWINGS ARE PREPARED BY THE CONTRACTOR AND WILL BE SIGNED AND SEALED BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER.

GENERAL CONTRACTOR

XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

STRUCTURAL ENGINEER

XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX
XXXXXXXXXXXXXXXXXXXX

SURVEY

REALMAPINGO LLC
420 LAKESIDE AVENUE, SUITE 403
MARLBOROUGH, MA 01752
REALMAPINGO.COM
774-570-0642

OWNER:
CHRISTOPHER BROLLY

ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

DRAWING INDEX

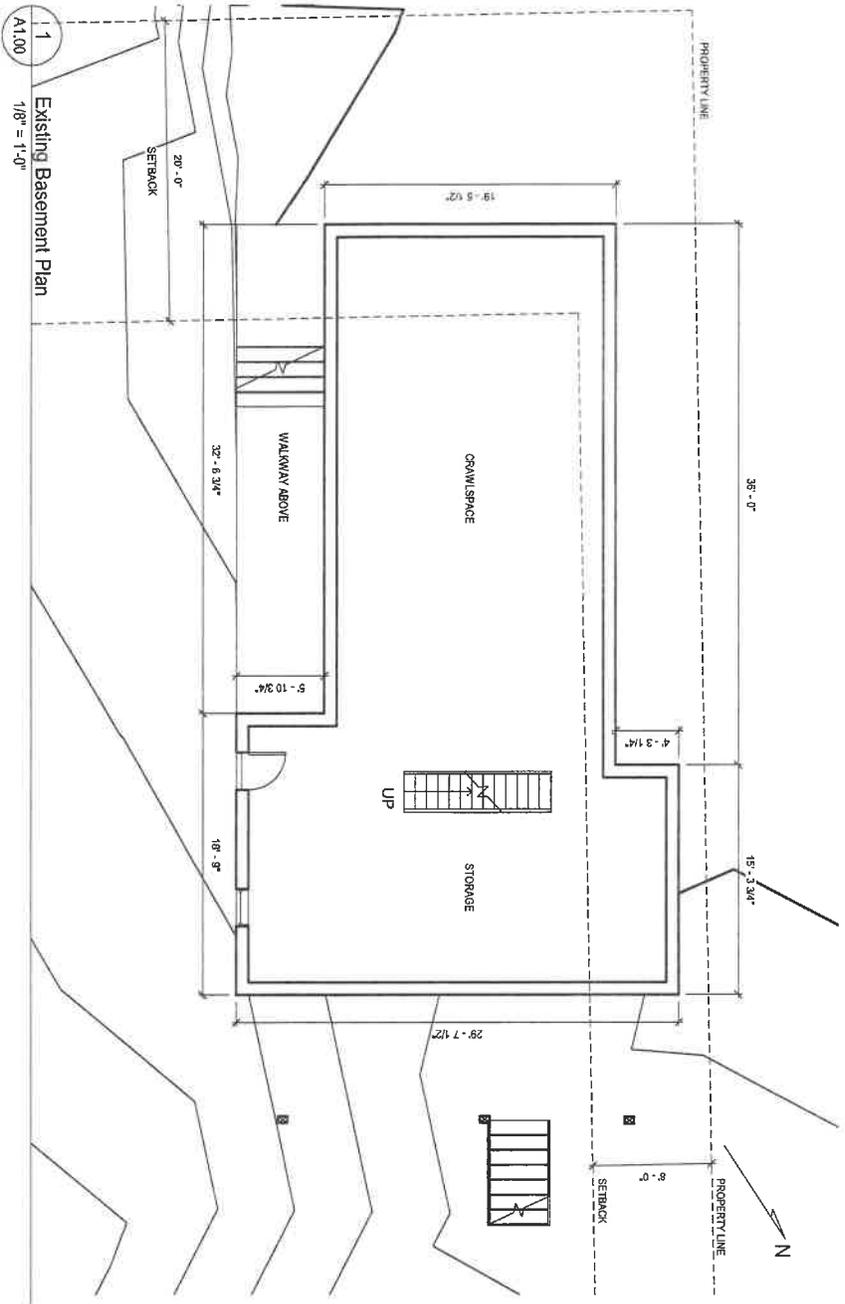
A0.01	COVER & PROJECT INFORMATION
A1.00	EXISTING BASEMENT PLAN
A1.01	EXISTING FLOOR 1 PLAN
A1.02	EXISTING FLOOR 2 PLAN
A1.03	EXISTING ROOF PLAN
A2.00	NEW BASEMENT PLAN
A2.01	NEW FLOOR 1 PLAN
A2.02	NEW FLOOR 2 PLAN
A2.03	NEW FLOOR 3 PLAN
A2.04	NEW ROOF PLAN
A3.00	EXISTING BUILDING ELEVATIONS
A3.01	PROPOSED BUILDING ELEVATIONS
A3.02	EXISTING BUILDING ELEVATIONS
A3.03	PROPOSED BUILDING ELEVATIONS

ZONING SET
14 DECEMBER 2025

**DRAWING TITLE
COVER & PROJECT
INFORMATION**

SHEET
A0.01

NOT FOR CONSTRUCTION



11
A1.00
Existing Basement Plan
1/8" = 1'-0"

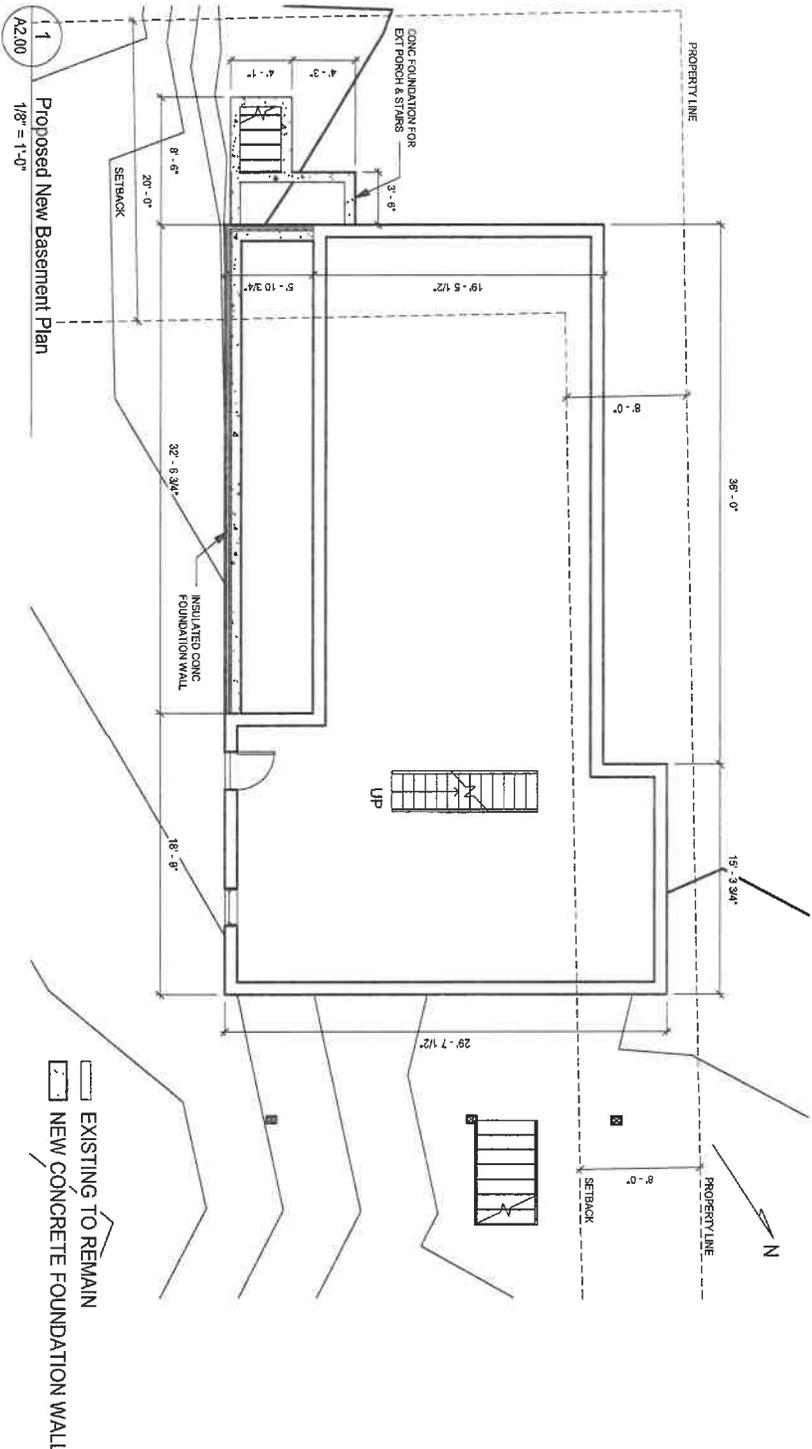
NOTE: GC TO VERIFY ALL DIMENSIONS

OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025

DRAWING TITLE
**EXISTING BASEMENT
PLAN**
SCALE
1/8" / 1'-0"
SHEET
A1.00
NOT FOR CONSTRUCTION





11
A2.00
Proposed New Basement Plan
1/8" = 1'-0"

EXISTING TO REMAIN
NEW CONCRETE FOUNDATION WALL

NOTE: GC TO VERIFY ALL DIMENSIONS

OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025



DRAWING TITLE
NEW BASEMENT
PLAN
SCALE
1/8" / 1'-0"
SHEET
A2.00
NOT FOR CONSTRUCTION

OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

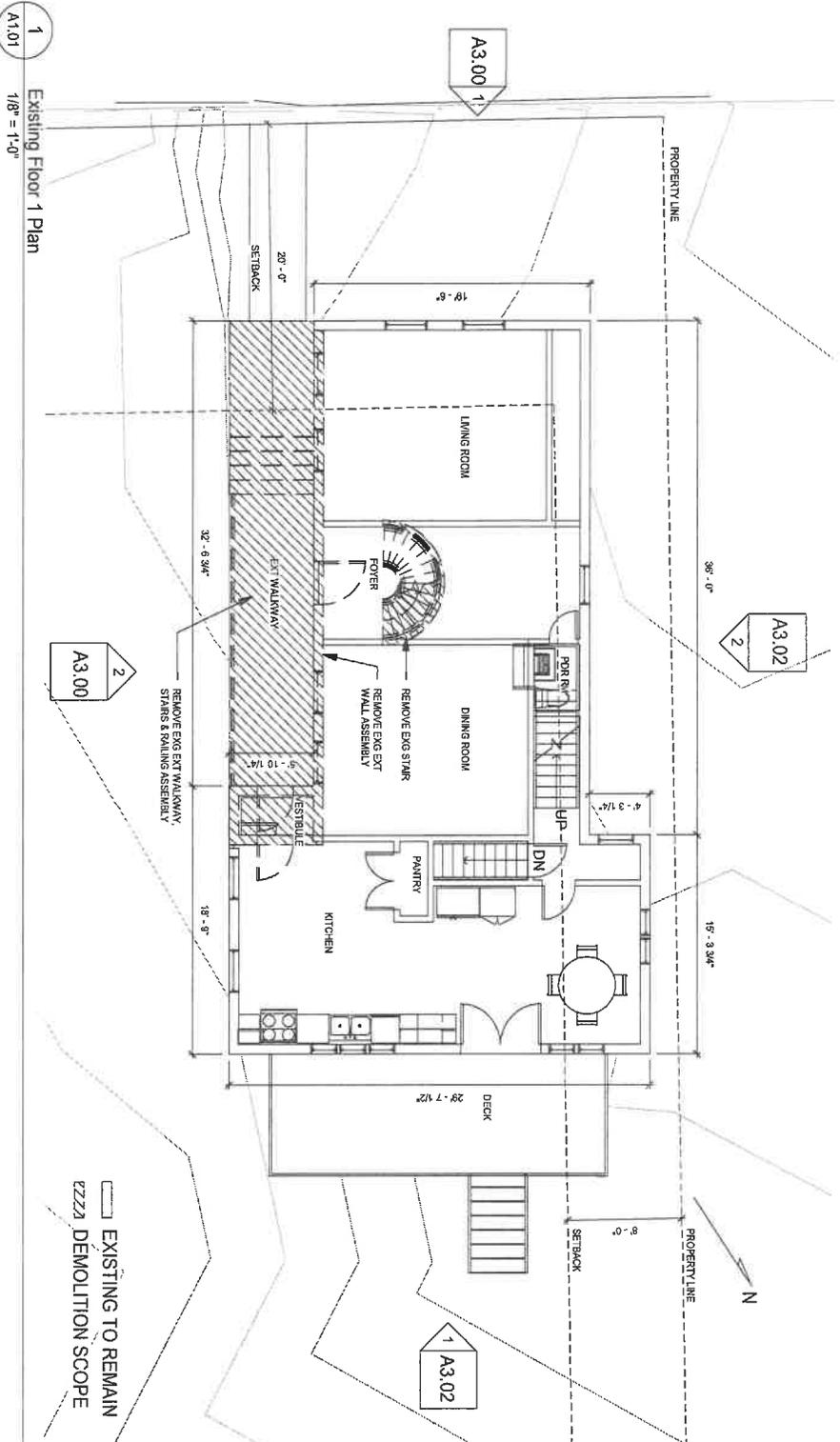
ZONING SET
14 DECEMBER 2025



DRAWING TITLE
EXISTING FLOOR 1
PLAN
SCALE
1/8" / 1'-0"

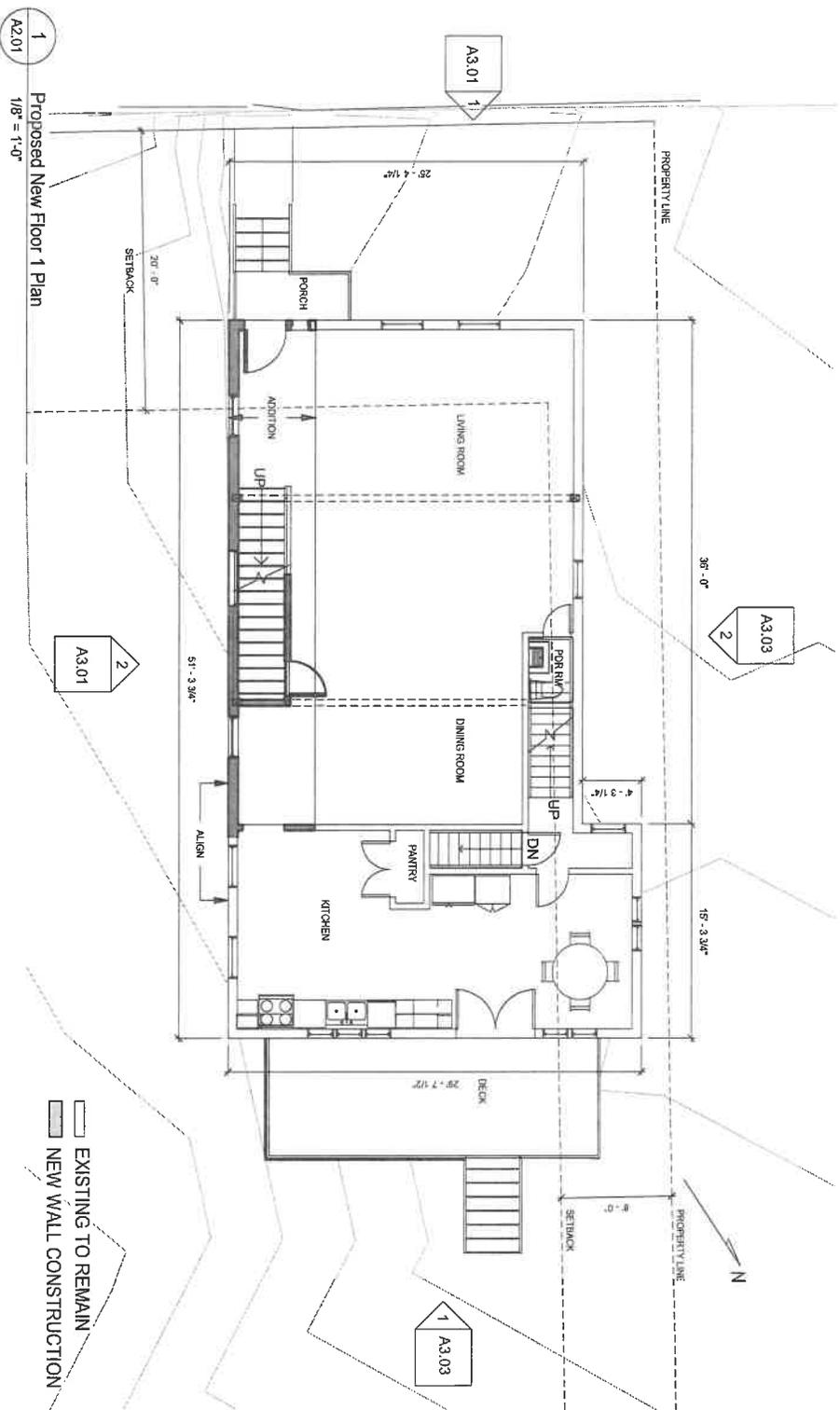
SHEET
A1.01

NOT FOR CONSTRUCTION



1
A1.01
Existing Floor 1 Plan
1/8" = 1'-0"

NOTE: GC TO VERIFY ALL DIMENSIONS



1
A2.01
Proposed New Floor 1 Plan
1/8" = 1'-0"

EXISTING TO REMAIN
NEW WALL CONSTRUCTION

NOTE: GC TO VERIFY ALL DIMENSIONS

OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025



DRAWING TITLE
NEW FLOOR 1 PLAN

SCALE
1/8" / 1'-0"

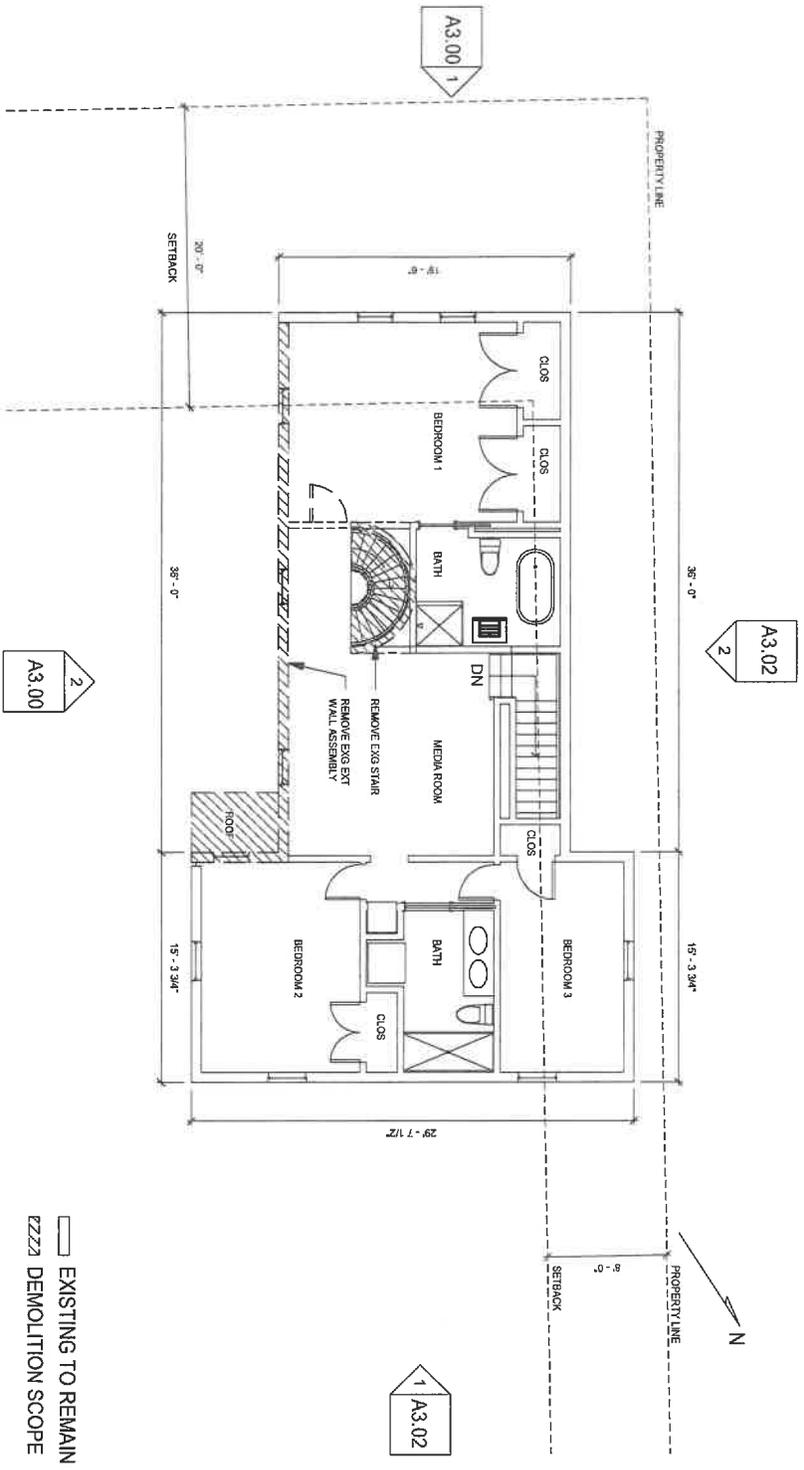
SHEET
A2.01

NOT FOR CONSTRUCTION

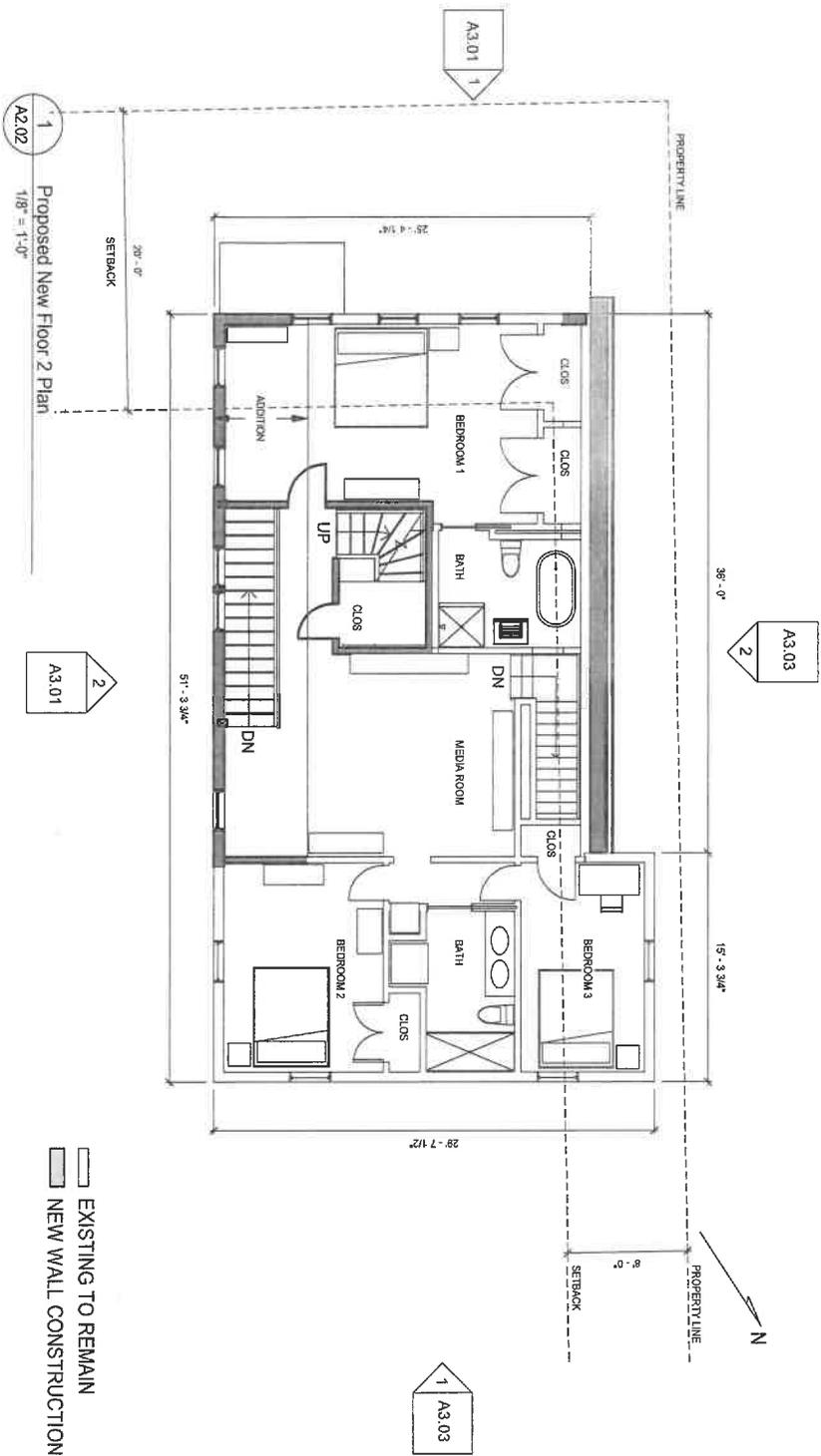
OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025

DRAWING TITLE
EXISTING FLOOR 2
PLAN
SCALE
1/8" / 1'-0"
SHEET
A1.02
NOT FOR CONSTRUCTION



1
A1.02
Existing Floor 2 Plan
1/8" = 1'-0"



-  EXISTING TO REMAIN
-  NEW WALL CONSTRUCTION

NOTE: GC TO VERIFY ALL DIMENSIONS

OWNER:
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ZONING SET
14 DECEMBER 2025



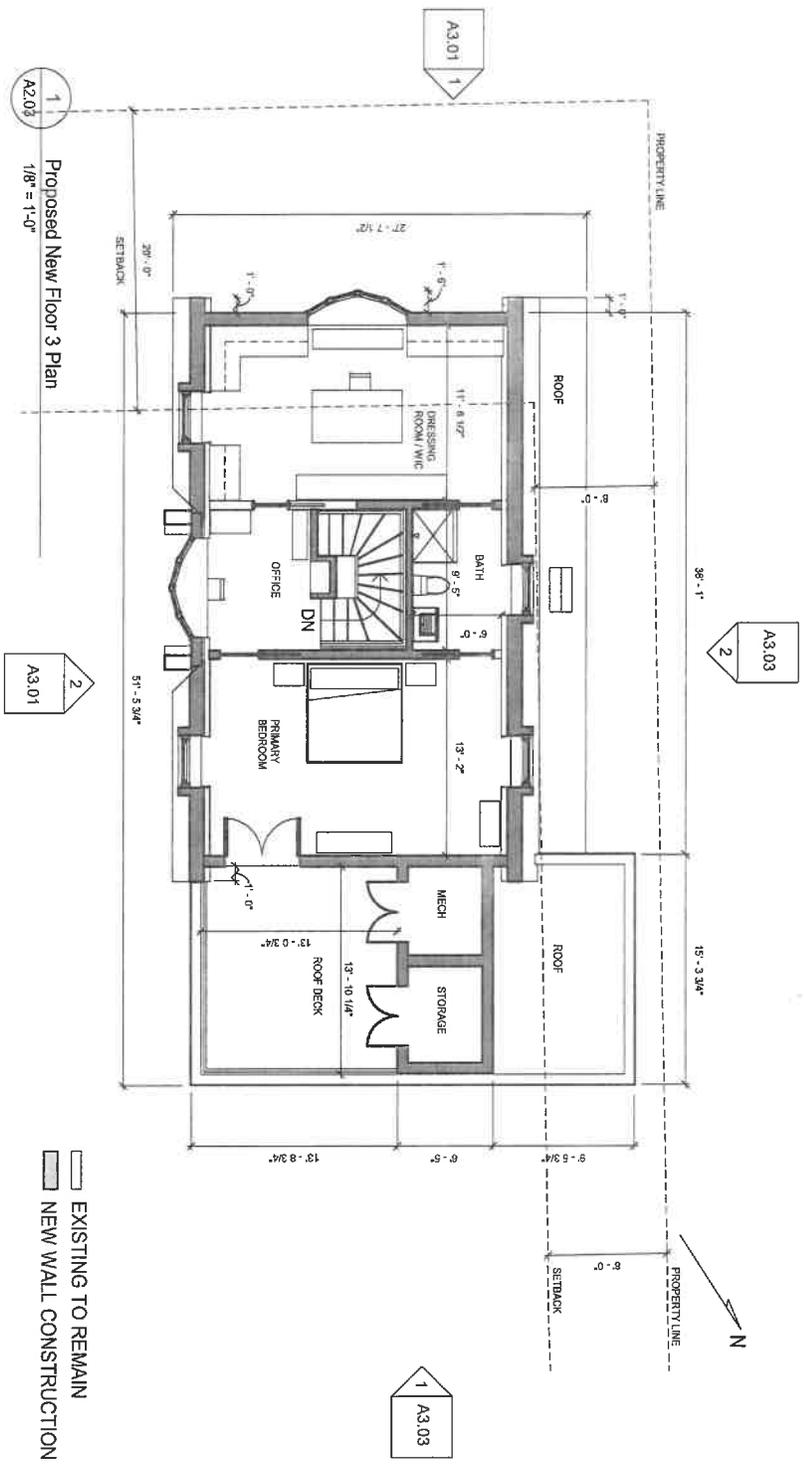
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NEW FLOOR 2 PLAN

SCALE
1/8" = 1'-0"

SHEET

A2.02

NOT FOR CONSTRUCTION



Proposed New Floor 3 Plan
1/8" = 1'-0"

— EXISTING TO REMAIN
- - - NEW WALL CONSTRUCTION

NOTE: GC TO VERIFY ALL DIMENSIONS

OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025



DRAWING TITLE
NEW FLOOR 3 PLAN

SCALE
1/8" / 1'-0"

SHEET

A2.03

NOT FOR CONSTRUCTION

OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025



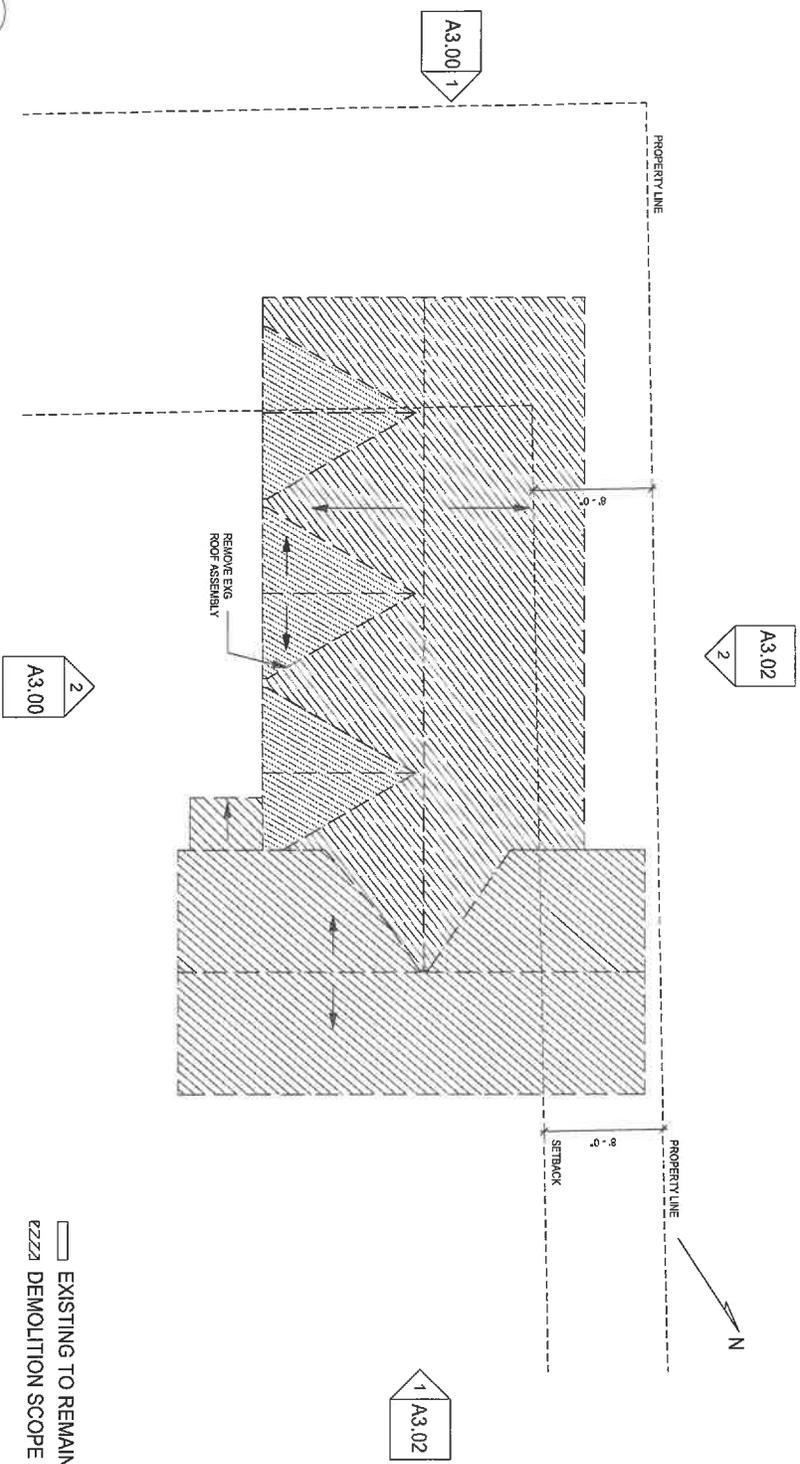
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**EXISTING ROOF
PLAN**
SCALE
1/8" / 1'-0"

SHEET

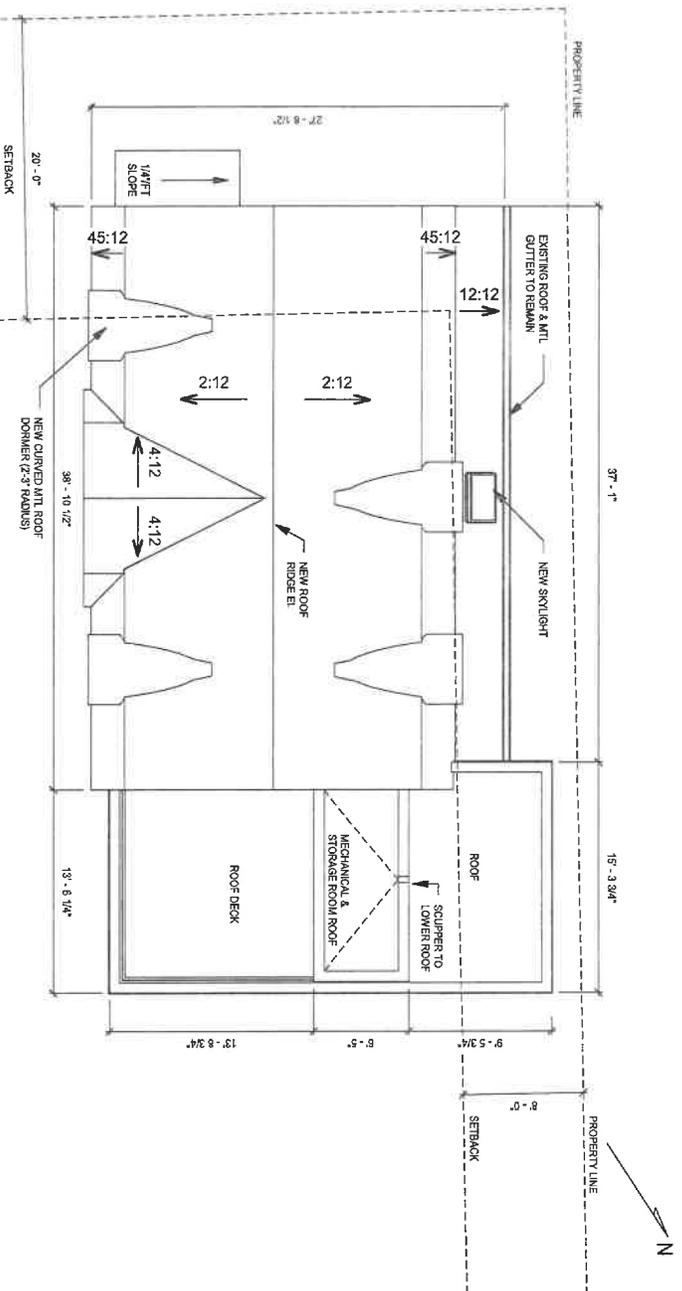
A1.03

NOT FOR CONSTRUCTION

1
Existing Roof Plan
1/8" = 1'-0"



NOTE: GO TO VERIFY ALL DIMENSIONS



1
A2.04
Proposed New Roof Plan
1/8" = 1'-0"

NOTE: GO TO VERIFY ALL DIMENSIONS

OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025



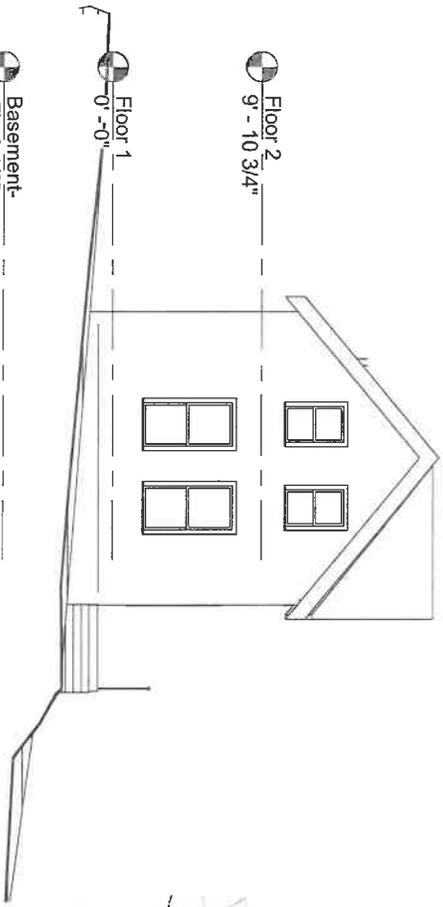
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NEW ROOF PLAN

SCALE
1/8" / 1'-0"

SHEET
A2.04

NOT FOR CONSTRUCTION

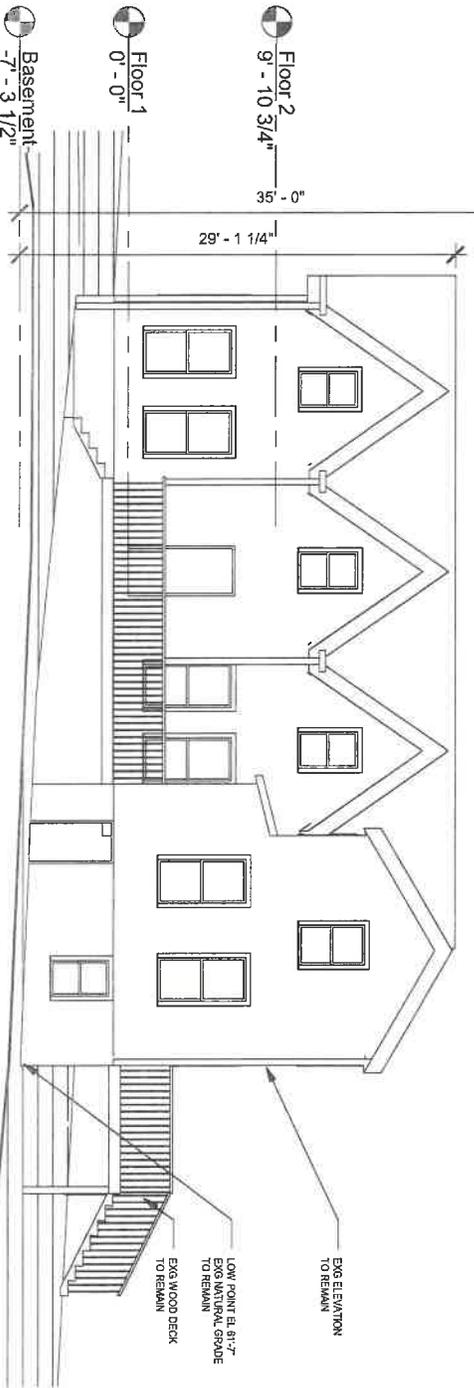
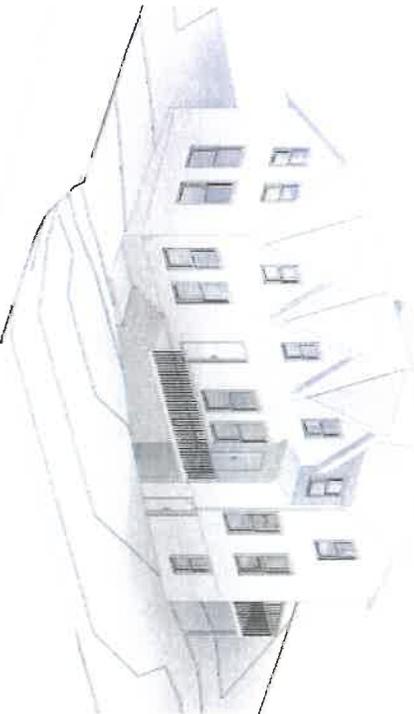
Max Roof Ht
27' - 8 1/2"



Basement
-7' - 3 1/2"

1
A3.00
Elevation - Existing Front
1/8" = 1'-0"

Max Roof Ht
27' - 8 1/2"



Basement
-7' - 3 1/2"

2
A3.00
Elevation - Existing East Side
1/8" = 1'-0"

NOTE: GO TO VERIFY ALL DIMENSIONS

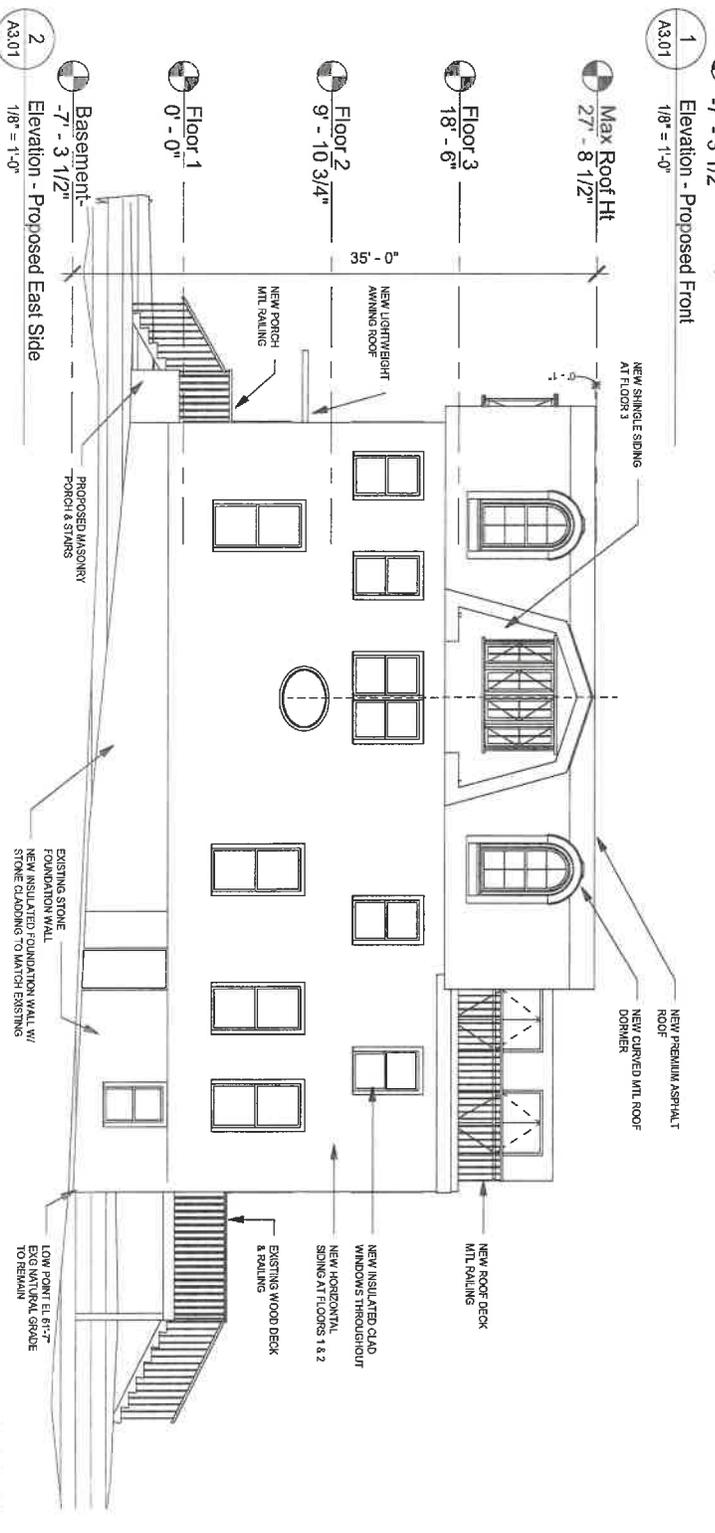
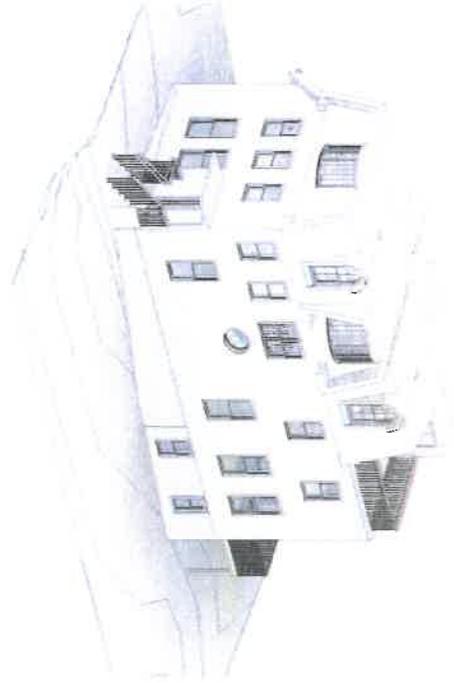
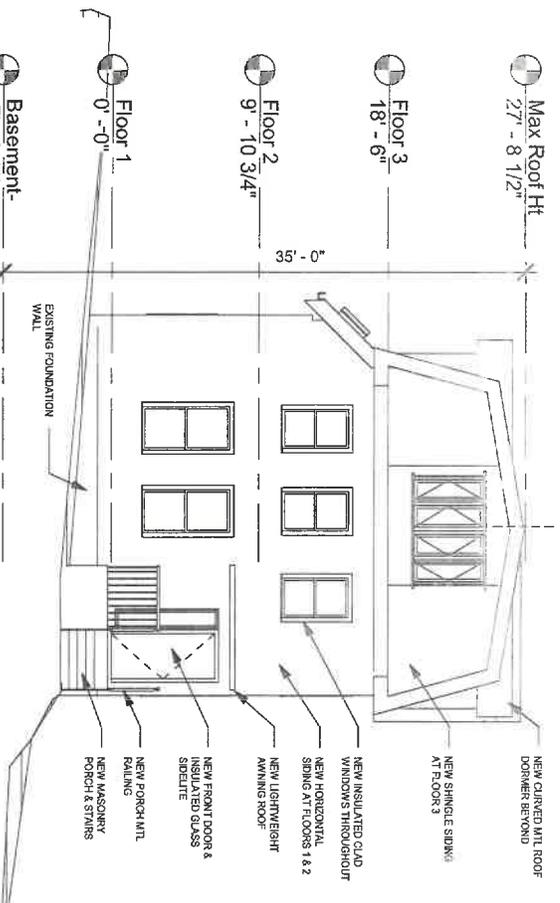
OWNER:
CHRISTOPHER BROLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025

DRAWING TITLE
EXISTING HOUSE
ELEVATIONS
SCALE
1/8" / 1'-0"

SHEET
A3.00

NOT FOR CONSTRUCTION



OWNER:
CHRISTOPHER BROLLY

ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025

DRAWING TITLE
**PROPOSED HOUSE
ELEVATIONS**
SCALE
1/8" / 1'-0"

SHEET
A3.01

NOT FOR CONSTRUCTION

NOTE: GO TO VERIFY ALL DIMENSIONS

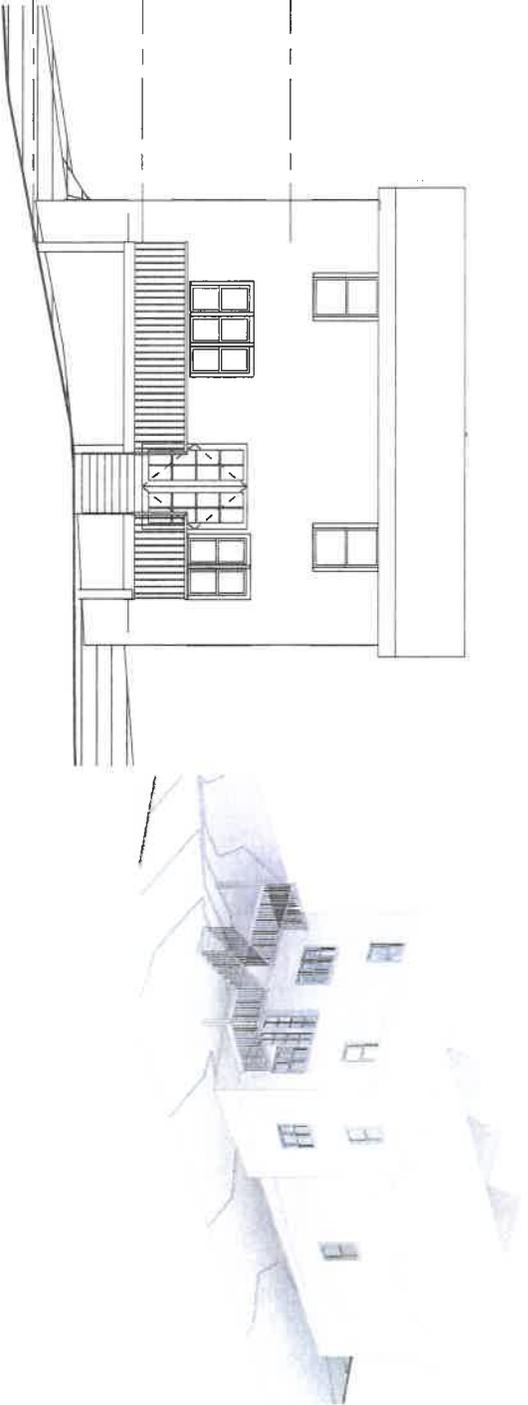
Max Roof Ht
27' - 8 1/2"

Floor 2
9' - 10 3/4"

Floor 1
0' - 0"

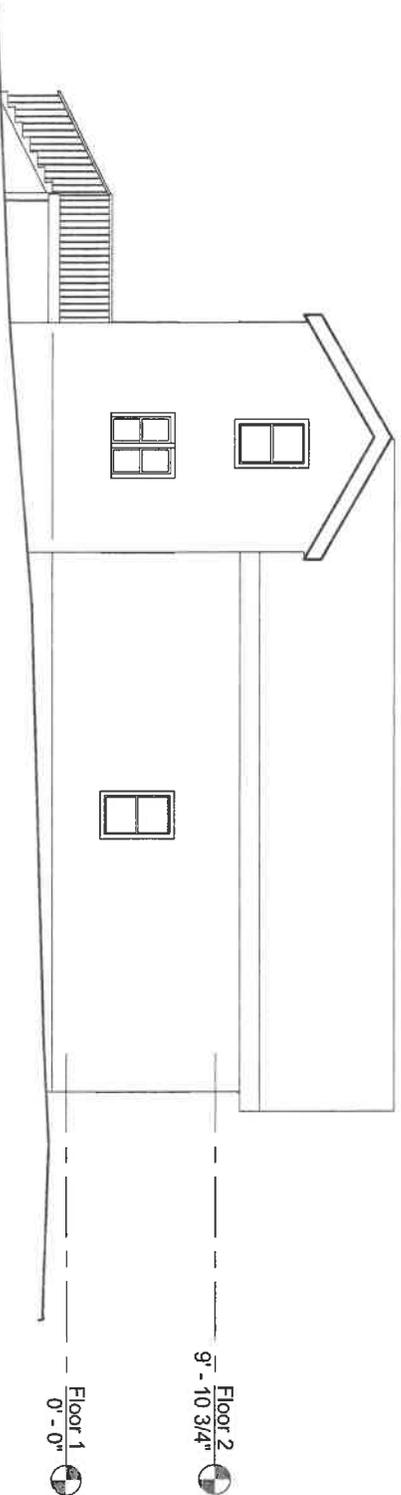
Basement
-7' - 3 1/2"

Elevation - Existing Rear
1/8" = 1'-0"



Max Roof Ht
27' - 8 1/2"

1
Elevation - Existing West Side
1/8" = 1'-0"



Floor 2
9' - 10 3/4"

Floor 1
0' - 0"

Basement
-7' - 3 1/2"

NOTE: GC TO VERIFY ALL DIMENSIONS

OWNER:
J. KRISTOPHER BROLLY

ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025

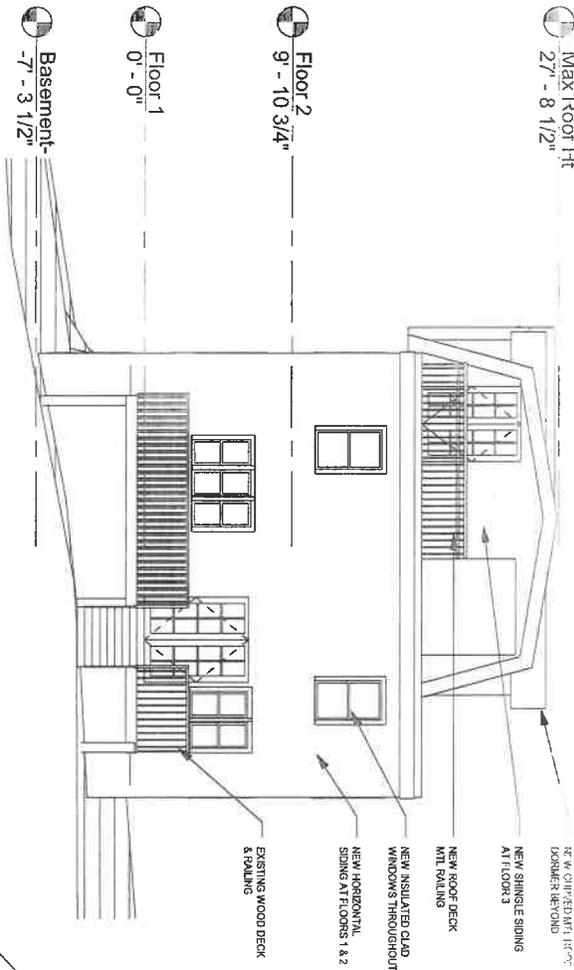
DRAWING TITLE
EXISTING HOUSE
ELEVATIONS
SCALE
1/8" / 1'-0"

SHEET

A3.02

NOT FOR CONSTRUCTION

Max Roof Ht
27' - 8 1/2"

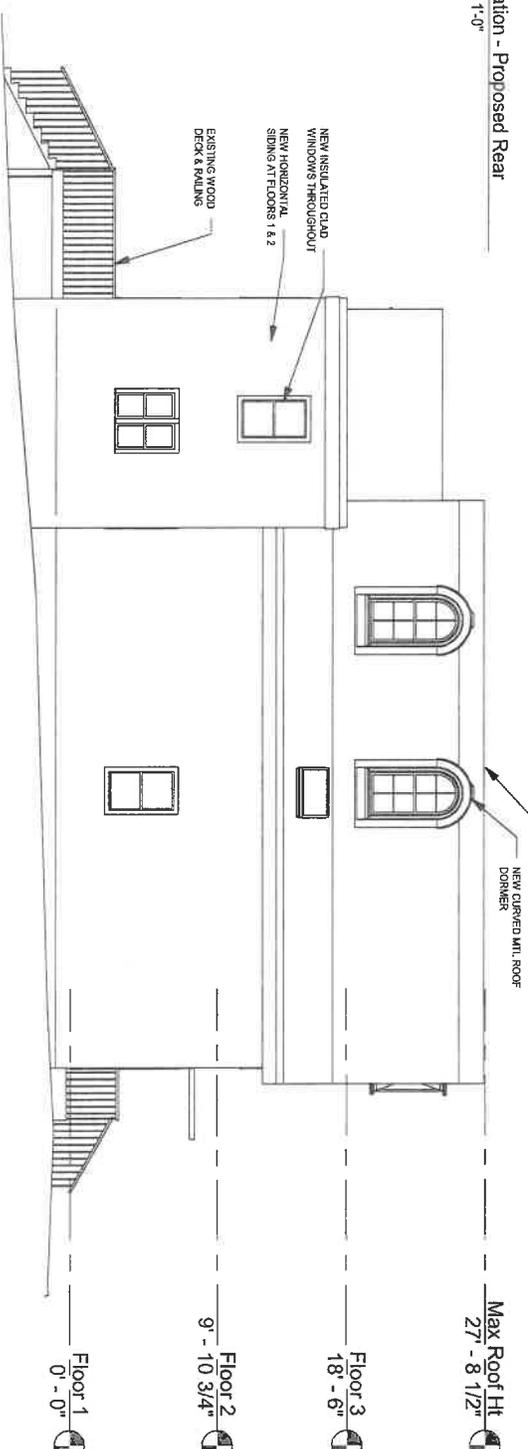
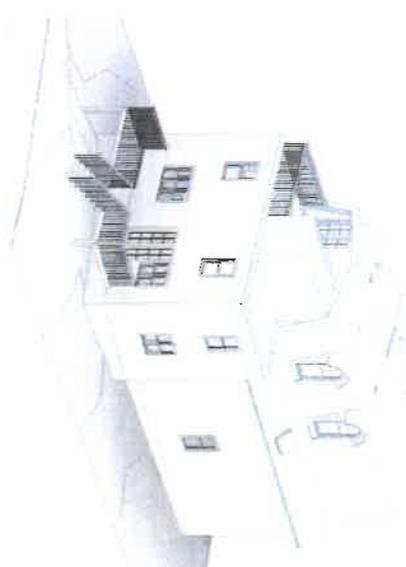


Floor 2
9' - 10 3/4"

Floor 1
0' - 0"

Basement
-7' - 3 1/2"

1
A3.03
Elevation - Proposed Rear
1/8" = 1'-0"



Max Roof Ht
27' - 8 1/2"

Floor 3
18' - 6"

Floor 2
9' - 10 3/4"

Floor 1
0' - 0"

Basement
-7' - 3 1/2"

2
A3.03
Elevation - Proposed West Side
1/8" = 1'-0"

NOTE: GFC TO VERIFY ALL DIMENSIONS

OWNER:
CHRISTOPHER BROOLLY
ADDRESS:
11 VILLAGE STREET
MARBLEHEAD, MA 01945

ZONING SET
14 DECEMBER 2025

DRAWING TITLE
PROPOSED HOUSE
ELEVATIONS
SCALE
1/8" / 1'-0"
SHEET
A3.03
NOT FOR CONSTRUCTION