



TUCKER ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
 www.TuckerArch.com
 (781) 631-3546

Tucker Architecture and Landscape LLC

DOCUMENT OWNERSHIP:
 THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



Drawing Index:

- CVR Cover
- X2 Existing Basement Floor Plan
- 2 Proposed Basement Floor Plan
- X3 Existing First Floor Plan
- 3 Proposed First Floor Plan
- X4 Existing Second Floor Plan
- 4 Proposed Second Floor Plan
- X5 Existing Third Floor Plan
- 5 Proposed Third Floor Plan
- X6 Existing Roof Plan
- 6 Proposed Roof Plan
- 7 Existing & Proposed Building Elevations
- 8 Existing & Proposed Building Elevations
- 9 Existing & Proposed Building Elevations
- 10 Existing & Proposed Building Elevations

REVISION DATE:
 2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

1-3 Essex St.
 Marblehead, MA

Cover

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.

CVR

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

DOCUMENT OWNERSHIP:
 THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-depth coordination with sub contractors. These drawings are intended for planning purposes only.

- PLAN WALL LEGEND**
-  Proposed Stud Walls
 -  Existing Walls to Remain
 -  Existing Walls to be Removed
 -  Proposed Concrete Walls
 -  Points of Egress to Exterior

REVISION DATE:
 2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless
 otherwise stamped by Architect

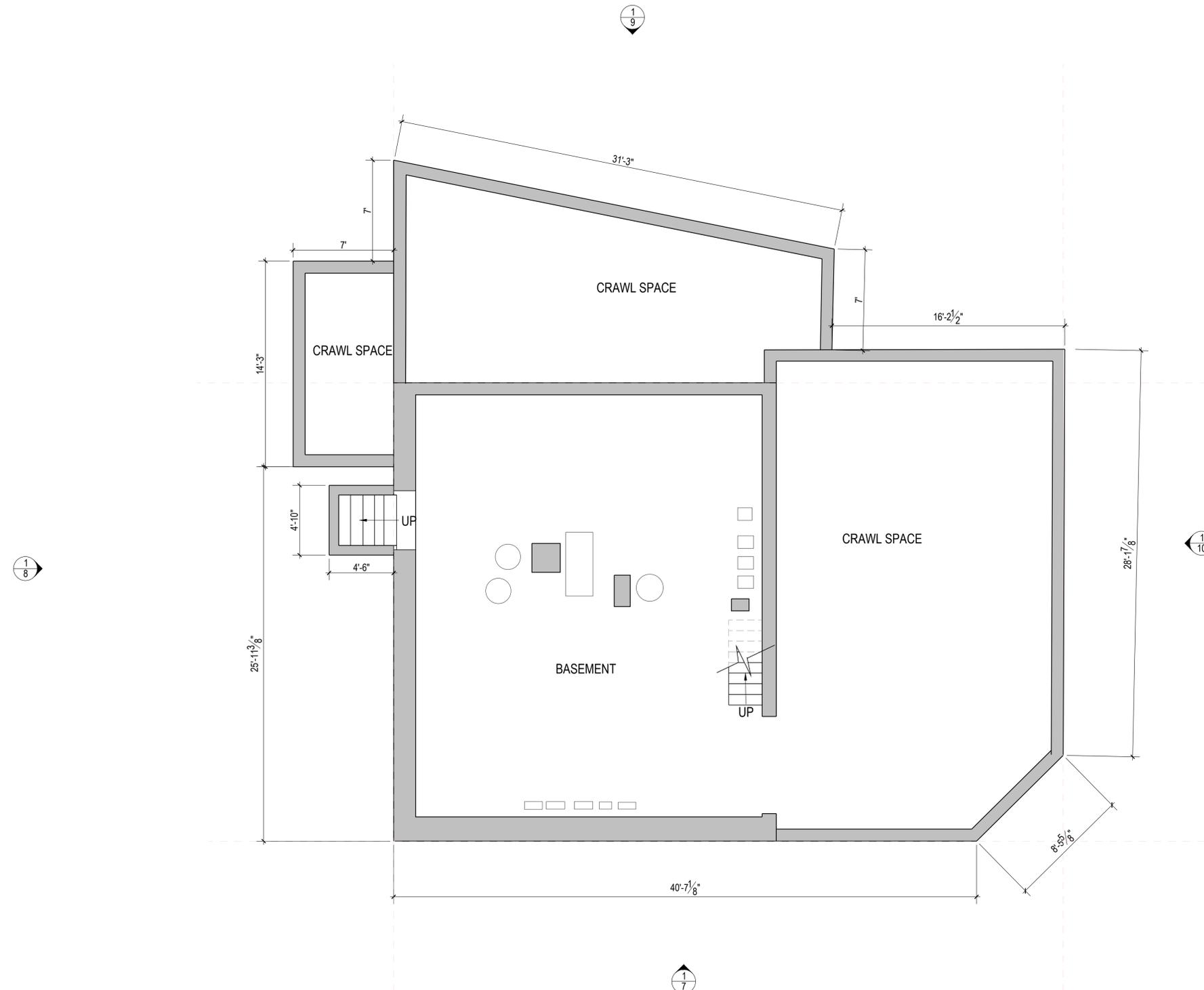
1-3 Essex St.
 Marblehead, MA

Existing Conditions
Basement Floor Plan

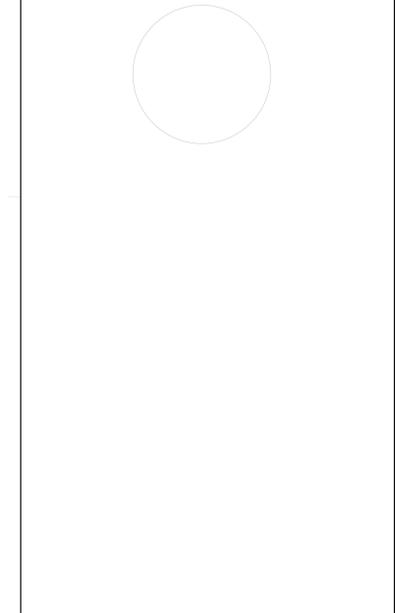
NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

PAGE NO.

X2



DOCUMENT OWNERSHIP:
 THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



- PLAN WALL LEGEND**
-  Proposed Stud Walls
 -  Existing Walls to Remain
 -  Existing Walls to be Removed
 -  Proposed Concrete Walls
 -  Points of Egress to Exterior

REVISION DATE:
 2025 12 09 FOR APPROVALS

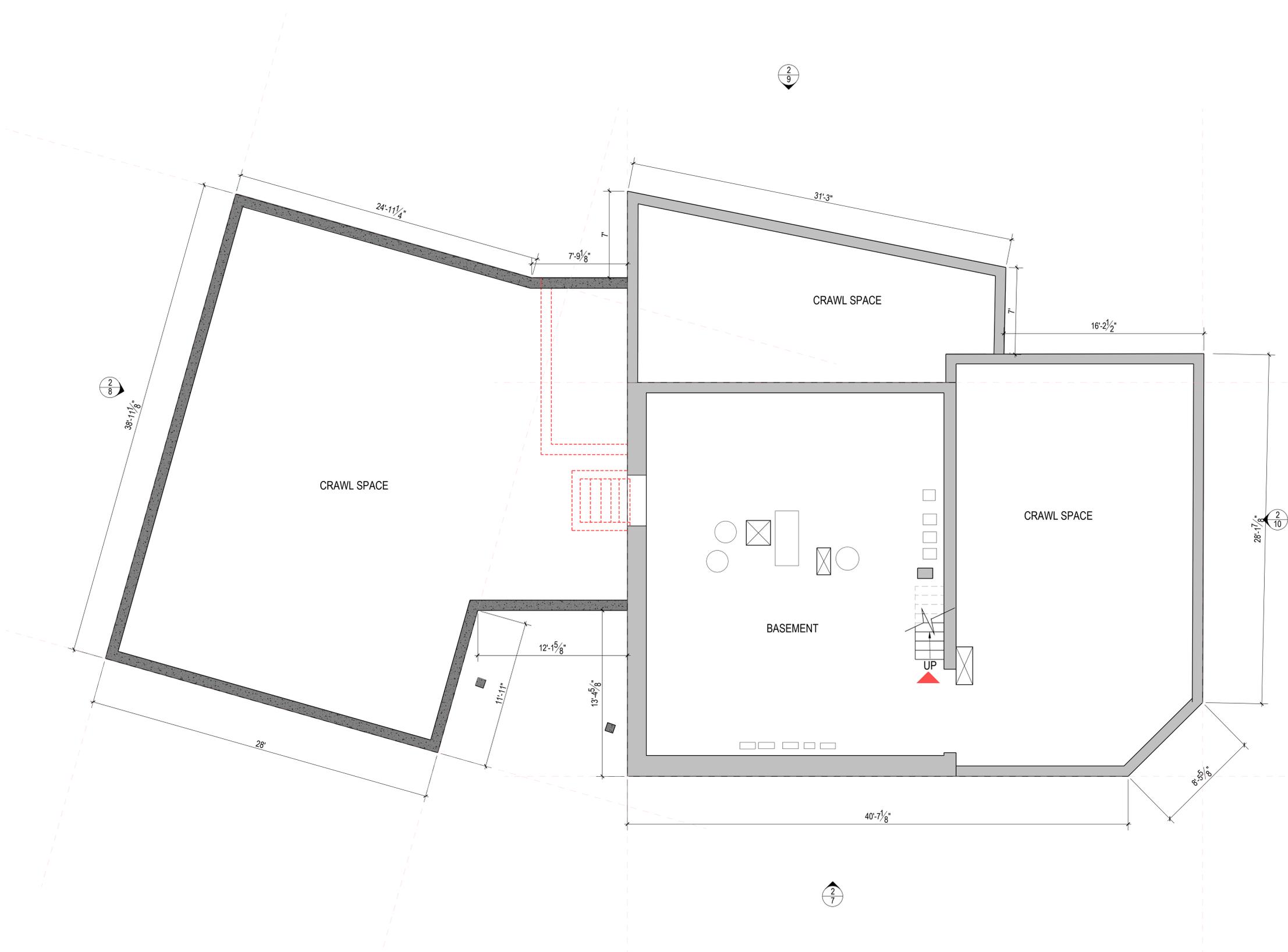
NOTE: Not for Construction unless
 otherwise stamped by Architect

1-3 Essex St.
 Marblehead, MA

Basement Floor Plan

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

PAGE NO.
2

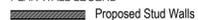
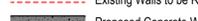


1 Basement Floor Plan
 Scale: 1/4"=1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-depth coordination with sub contractors. These drawings are intended for planning purposes only.

- PLAN WALL LEGEND**
-  Proposed Stud Walls
 -  Existing Walls to Remain
 -  Existing Walls to be Removed
 -  Proposed Concrete Walls
 -  Points of Egress to Exterior

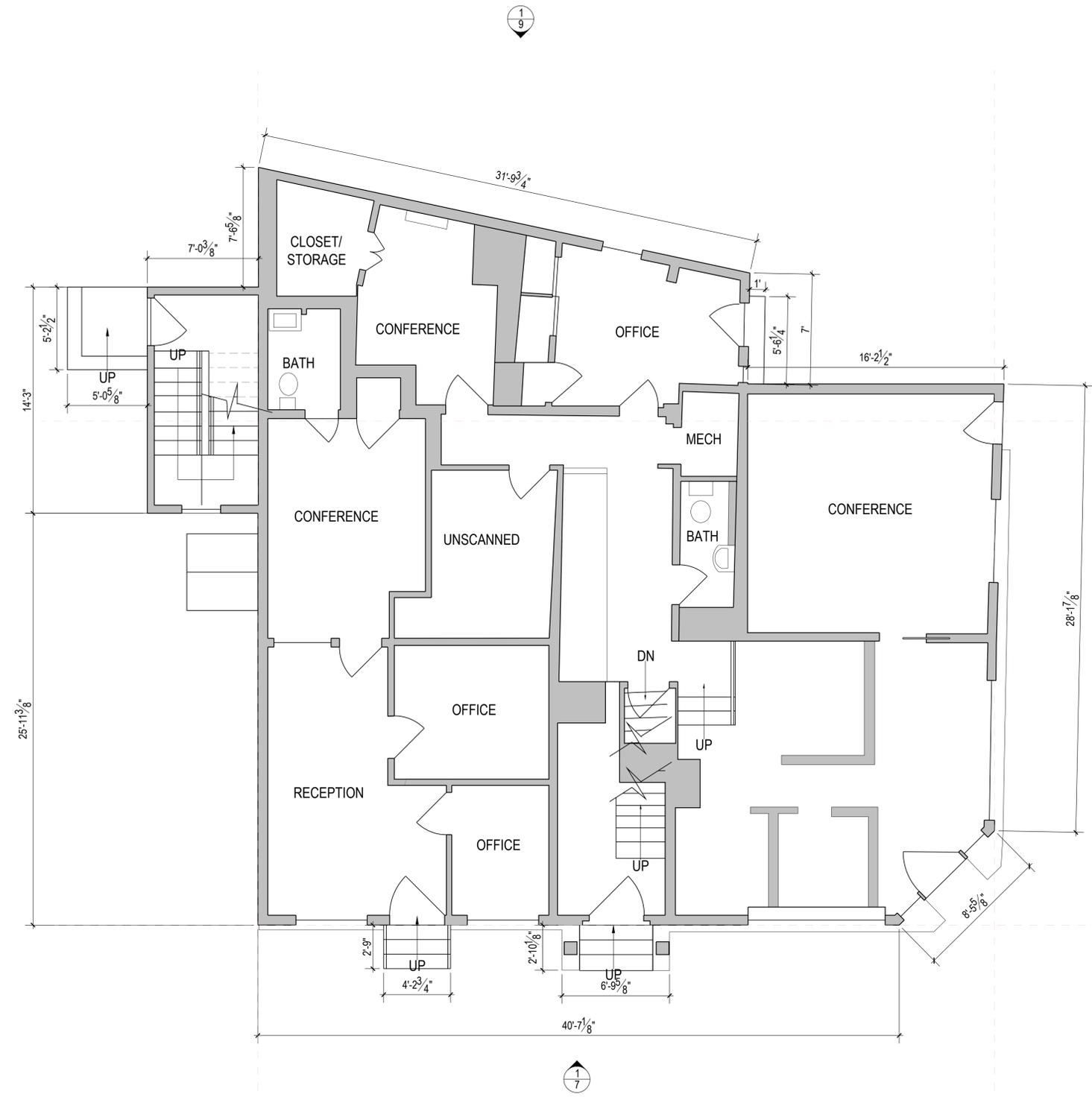
REVISION DATE:
2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

1-3 Essex St.
Marblehead, MA

**Existing Conditions
First Floor Plan**

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO. X3





TUCKER ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546

Tucker Architecture and Landscape LLC

DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



- PLAN WALL LEGEND
- Proposed Stud Walls
 - Existing Walls to Remain
 - Existing Walls to be Removed
 - Proposed Concrete Walls
 - Points of Egress to Exterior

REVISION DATE:
2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

1-3 Essex St.
Marblehead, MA

First Floor Plan

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.



DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



- PLAN WALL LEGEND**
- Proposed Stud Walls
 - Existing Walls to Remain
 - Existing Walls to be Removed
 - Proposed Concrete Walls
 - Points of Egress to Exterior

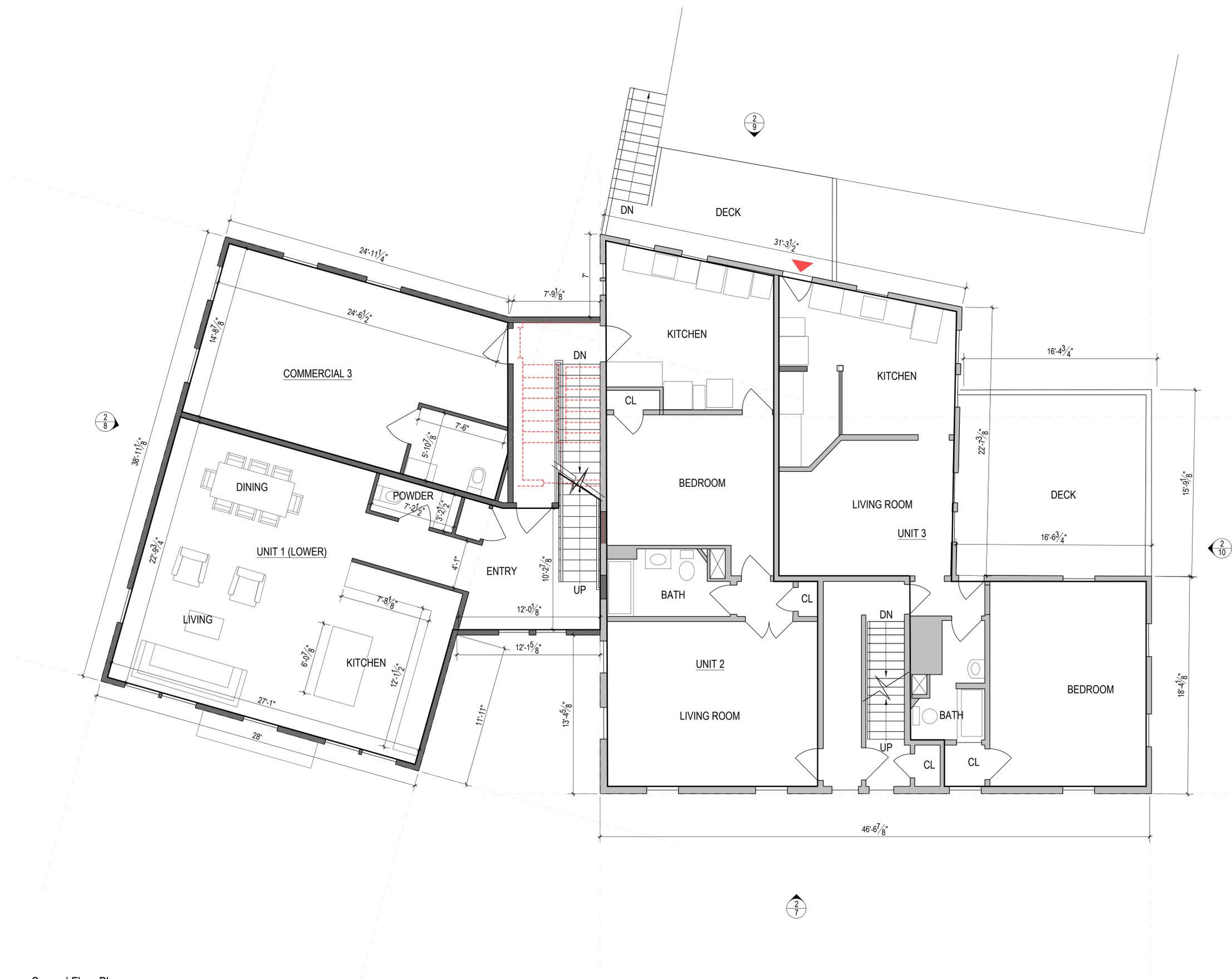
REVISION DATE:
2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

1-3 Essex St.
Marblehead, MA

Second Floor Plan

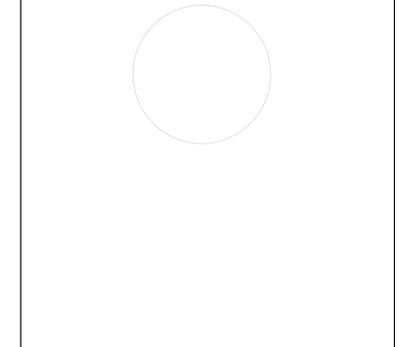
NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.



1 Second Floor Plan
Scale: 1/4"=1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-depth coordination with sub contractors. These drawings are intended for planning purposes only.

PLAN WALL LEGEND

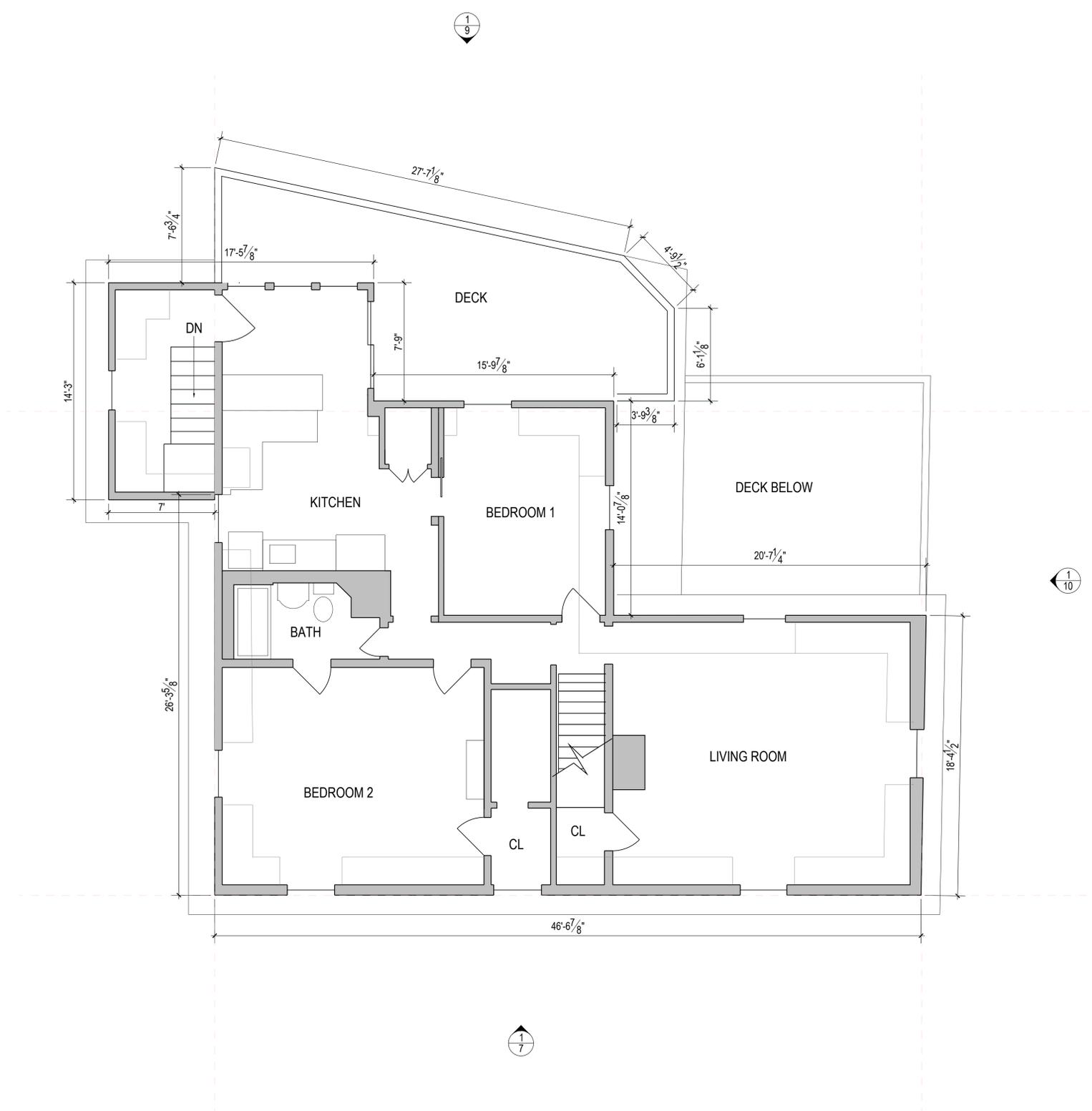
	Proposed Stud Walls
	Existing Walls to Remain
	Existing Walls to be Removed
	Proposed Concrete Walls
	Points of Egress to Exterior

REVISION DATE:
2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

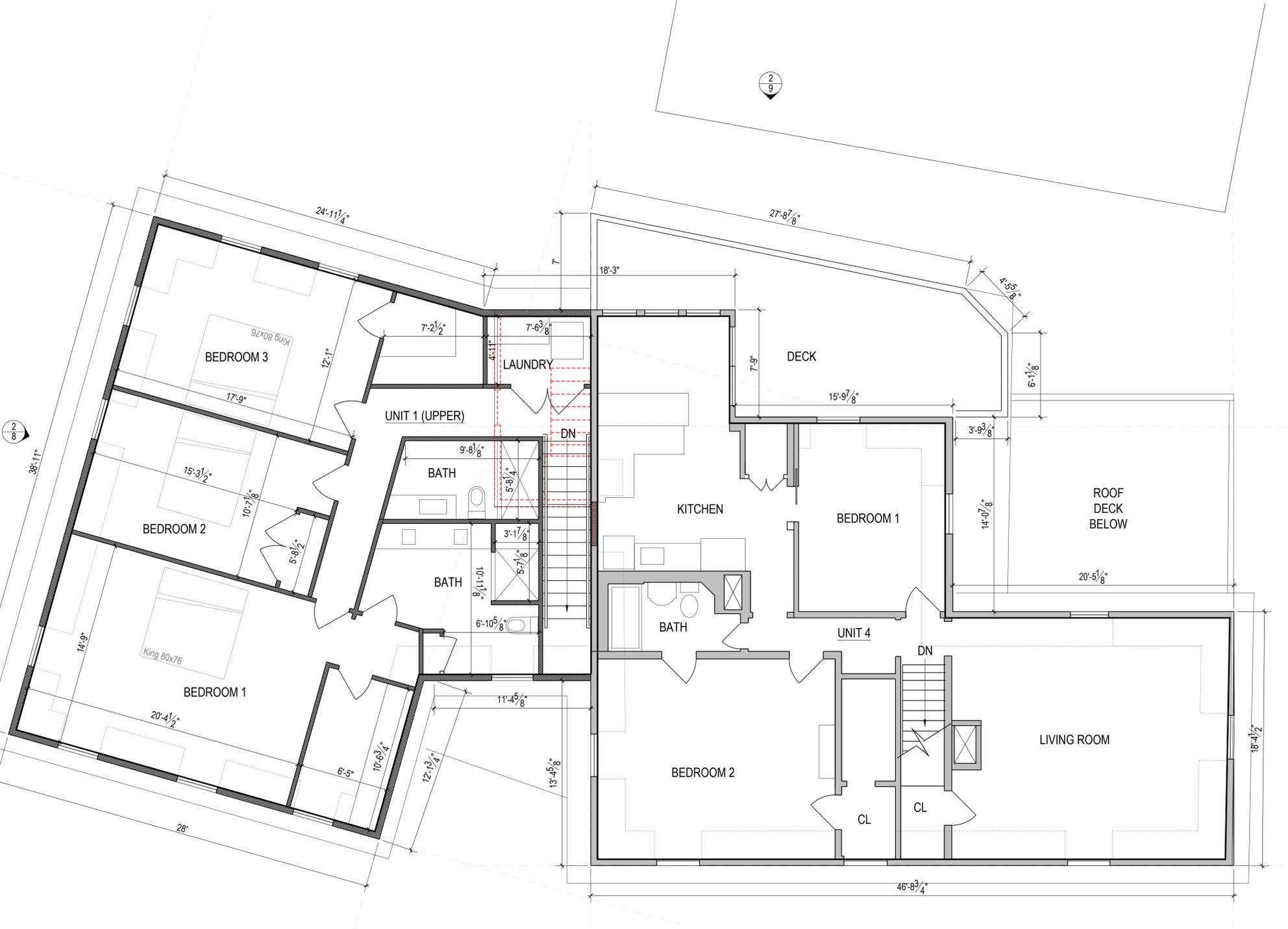
1-3 Essex St.
Marblehead, MA
**Existing Conditions
Third Floor Plan**

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.



DOCUMENT OWNERSHIP:
 THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

2
8



2
10

PLAN WALL LEGEND

-  Proposed Stud Walls
-  Existing Walls to Remain
-  Existing Walls to be Removed
-  Proposed Concrete Walls
-  Points of Egress to Exterior

REVISION DATE:
 2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

1-3 Essex St.
 Marblehead, MA

Proposed Third Floor Plan

DOCUMENT OWNERSHIP:
 THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-depth coordination with sub contractors. These drawings are intended for planning purposes only.

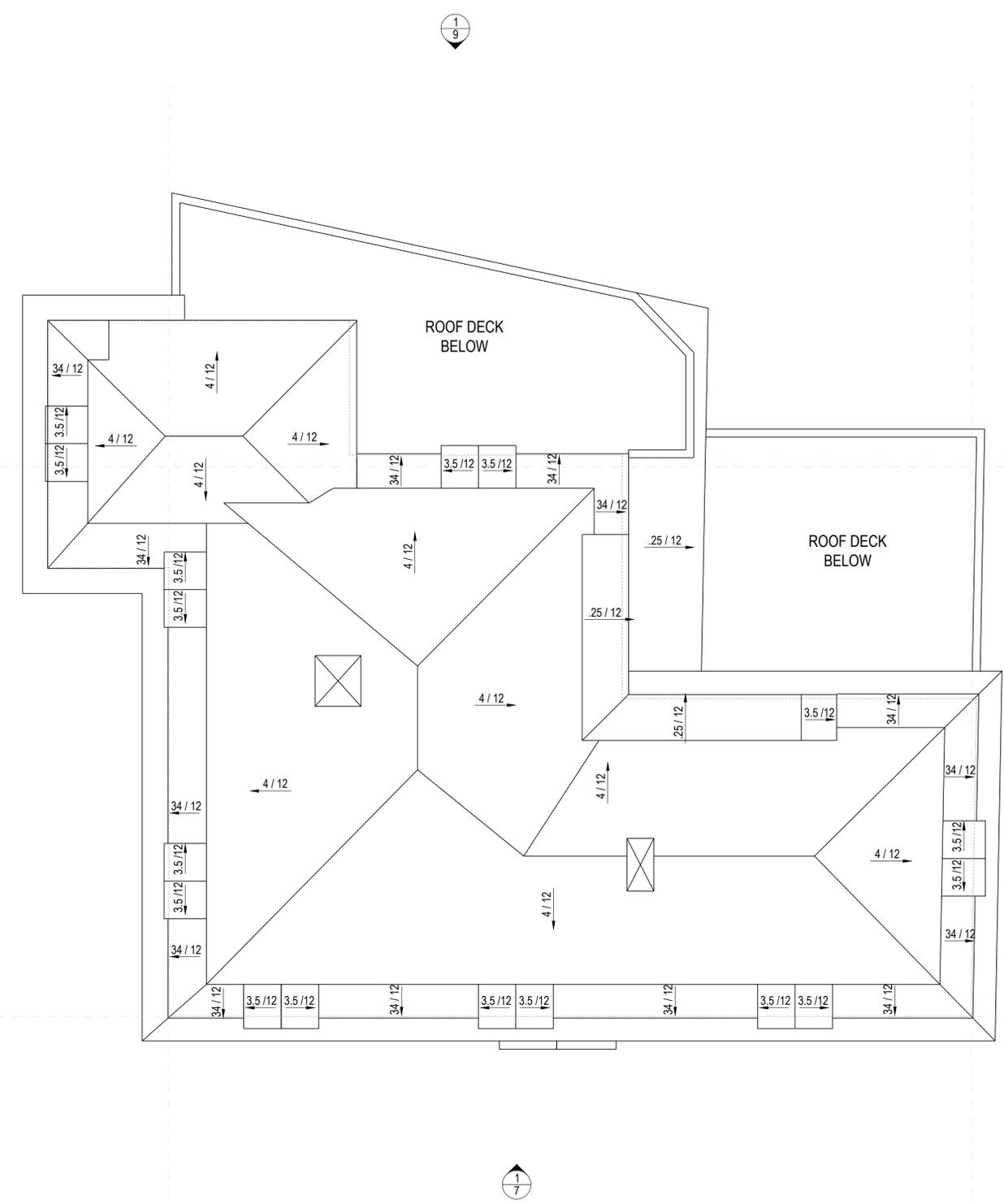
REVISION DATE:
 2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

1-3 Essex St.
 Marblehead, MA

Existing Conditions
Roof Plan

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.





TUCKER ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546

Tucker Architecture and Landscape LLC

DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



REVISION DATE:
2025 12 09 FOR APPROVALS

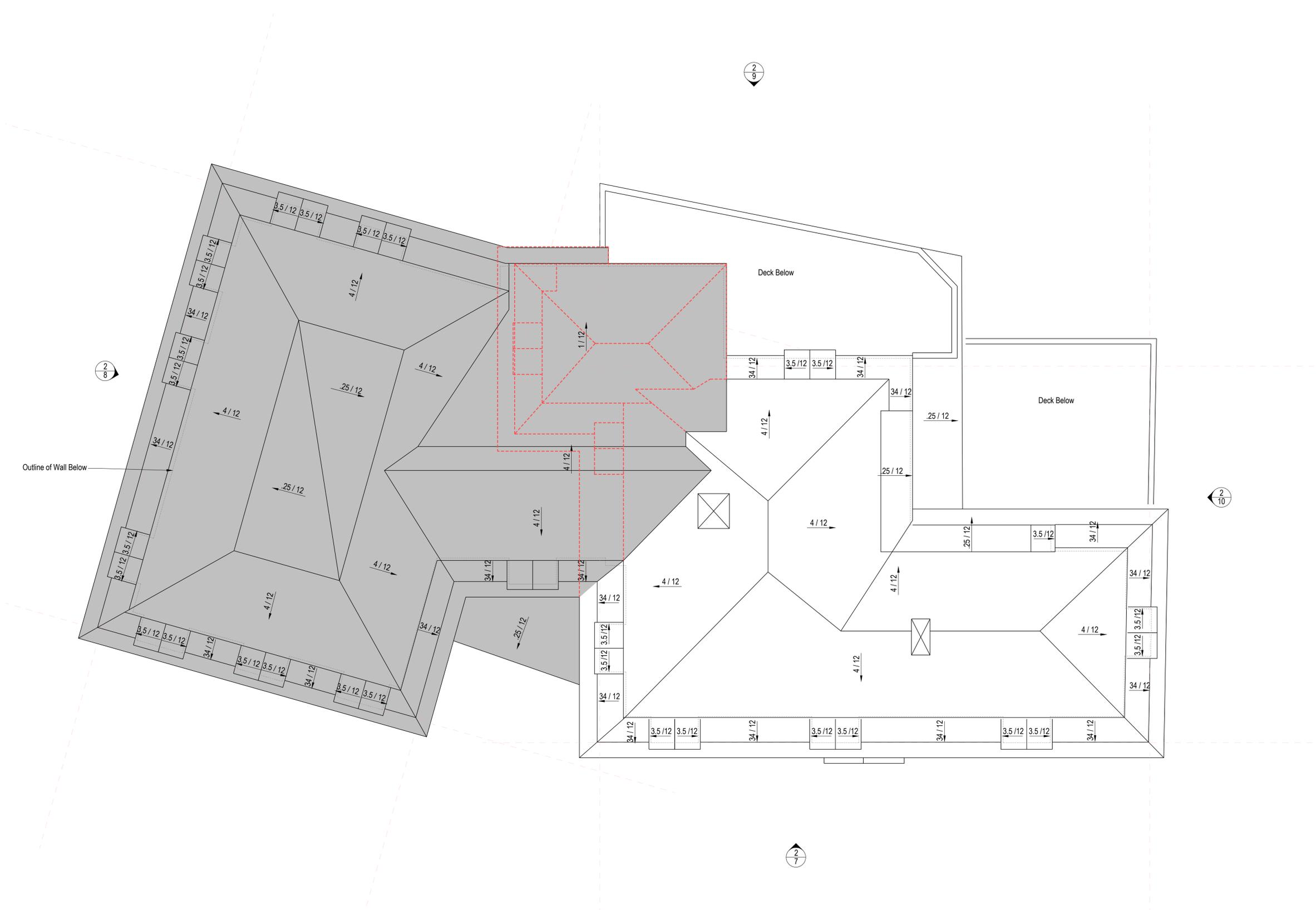
NOTE: Not for Construction unless
otherwise stamped by Architect

1-3 Essex St.
Marblehead, MA

Roof Plan

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.

6



1 Proposed Roof Plan
Scale: 1/4"=1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

Existing Top of Ridge
Elevation: 32'-7 1/2"

Third Floor Elevation
Elevation: 19'-9"

Second Floor Elevation
Elevation: 10'-1"

First Floor Elevation
Elevation: 0'-0"

Existing Low Spot
Proposed Low Spot

Basement Floor Slab
Elevation: -6'-3 1/2"

1 West Elevation
Scale: 1/4"=1'-0"

Existing Top of Ridge
Elevation: 32'-7 1/2"

Third Floor Elevation
Elevation: 19'-9"

Second Floor Elevation
Elevation: 10'-1"

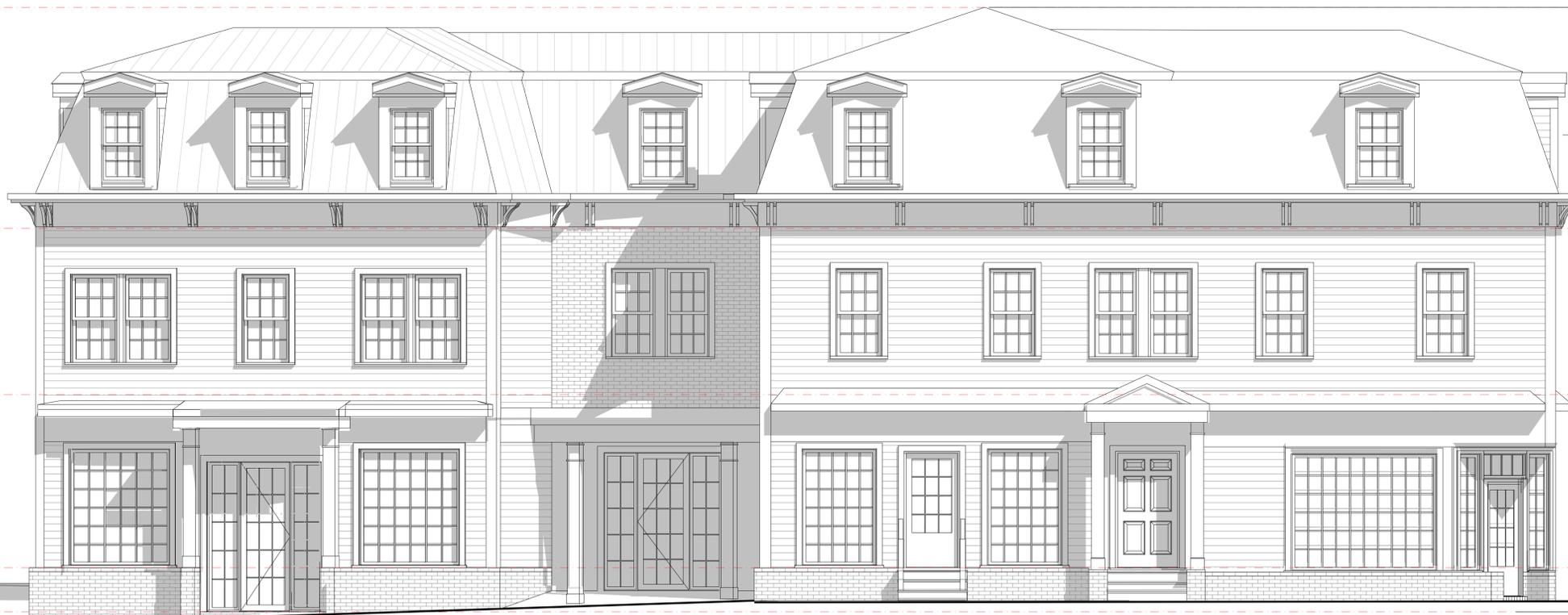
First Floor Elevation
Elevation: 0'-0"

Existing Low Spot
Proposed Low Spot

2 West Elevation
Scale: 1/4"=1'-0"



35'-2 5/8" Existing Low Spot to Existing Top of Ridge



35'-2 5/8" Existing Low Spot to Existing Top of Ridge

35'-7 1/4" Proposed Low Spot to Existing Top of Ridge

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



TUCKER
ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546

Tucker Architecture and Landscape LLC

DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-depth coordination with sub contractors. These drawings are intended for planning purposes only.

REVISION DATE:
2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

1-3 Essex St.
Marblehead, MA

Existing Conditions
Building Elevations

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

PAGE NO.

7

DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



REVISION DATE:
2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless otherwise stamped by Architect

1-3 Essex St.
Marblehead, MA

Building Elevations

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.



1 North Elevation
Scale: 1/4"=1'-0"



2 North Elevation
Scale: 1/4"=1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

Existing Top of Ridge
Elevation: 32'-7 1/2"

Third Floor Elevation
Elevation: 19'-9"

Second Floor Elevation
Elevation: 10'-1"

First Floor Elevation
Elevation: 0'-0"

Existing Low Spot

Proposed Low Spot

Basement Floor Slab
Elevation: -6'-3 1/2"

1 East Elevation
Scale: 1/4"=1'-0"

Existing Top of Ridge
Elevation: 32'-7 1/2"

Third Floor Elevation
Elevation: 19'-9"

Second Floor Elevation
Elevation: 10'-1"

First Floor Elevation
Elevation: 0'-0"

Existing Low Spot

Proposed Low Spot

2 East Elevation
Scale: 1/4"=1'-0"



TUCKER
ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA

www.TuckerArch.com

(781) 631-3546

Tucker Architecture and Landscape LLC

DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-depth coordination with sub contractors. These drawings are intended for planning purposes only.

REVISION DATE:
2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless
otherwise stamped by Architect

1-3 Essex St.
Marblehead, MA

Existing Conditions
Building Elevations

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.

9

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



1 South Elevation
Scale: 1/4"=1'-0"



2 South Elevation
Scale: 1/4"=1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



TUCKER ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546

Tucker Architecture and Landscape LLC

DOCUMENT OWNERSHIP:
THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



REVISION DATE:
2025 12 09 FOR APPROVALS

NOTE: Not for Construction unless
otherwise stamped by Architect

1-3 Essex St.
Marblehead, MA

Building Elevations

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE PAGE NO.

10