



TOWN SEAL
tel: 781-631-1529

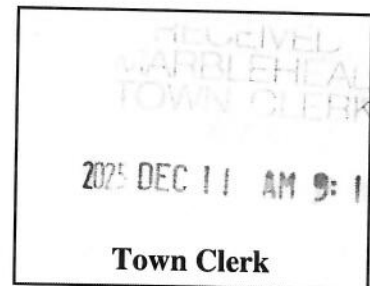
fax: 781-631-2617
Revision Date: 08-01-2025

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 99 Clifton Avenue Marblehead, MA 01945

Assessor Map(s) 9 Parcel Number(s) 36-0

OWNER INFORMATION

Signature _____ date _____

Name (printed) Peter A. Pereyra and Taylor A. Pereyra

Address 99 Clifton Avenue Marblehead, MA 01945

Phone Numbers: home _____ work see contact info below

E-mail _____ fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 12-4-2025

Name (printed) Matthew Wolverton, Law Offices of Lausier & Lausier LLC

Address 2 Hooper Street Marblehead, MA 01945

Phone Numbers: home _____ work 781 631 8830 x 2

E-mail matt@lausierlaw.com fax 781 631 8840

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

SEE ATTACHED DESCRIPTION

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Community Development & Planning Office:

- the signed and stamped application (3 pages);
- current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
- the project design plans as required;
- check for the applicable fee payable to the Town of Marblehead.

- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

Reviewed by
Building Department
For Zoning Board
Of Appeals

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3)

2. Town Clerk's stamp (upper right corner)

[Signature] 12-4-2025

View Bylaws - (Chapter 200, Zoning) - online at: <https://marbleheadma.gov/>

Town of Marblehead
ZBA-APPLICATION

Page 2 of 3

Revision Date: 12-02-2020

Project Address 99 Clifton Avenue Marblehead, MA 01945

Map(s) / Parcel(s) 9/36-0

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR **SSR ESR SESR HBR U SU**

CURRENT USE (explain) single family residence

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) _____

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☐ No ☒

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ **Lot Area** - Less than required (§200-7 and Table 2)
☐ **Lot Width** - Less than required (§200-7)
☐ **Frontage** - Less than required (§200-7 and Table 2)
☒ **Front Yard Setback** - Less than required (Table 2)
☐ **Rear Yard Setback** - Less than required (Table 2)
☐ **Side Yard Setback** - Less than required (Table 2)
☐ **Height** - Exceeds maximum allowed (§200-7 and Table 2)
☐ **Open Area** - Less than required (§200-7, §200-15.B(2) and Table 2)
☐ **Parking** - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☐ **Other Non-conformities** (explain) _____
☐ **No Existing Dimensional Non-conformities**

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ **Lot Area** - Less than required (§200-7 and Table 2)
☐ **Lot Width** - Less than required (§200-7)
☐ **Frontage** - Less than required (§200-7 and Table 2)
☒ **Front Yard Setback** - Less than required (Table 2)
☐ **Rear Yard Setback** - Less than required (Table 2)
☐ **Side Yard Setback** - Less than required (Table 2)
☐ **Height** - Exceeds maximum allowed (§200-7 and Table 2)
☐ **Open Area** - Less than required (§200-7, §200-15.B(2) and Table 2)
☐ **Parking** - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☒ **Exceeds 10% Expansion Limits for Non-conforming Building** (§200-30.D)
☐ **Other Non-conformities** (explain) _____
☐ **No New Dimensional Non-conformities**

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Historic District Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Planning Board	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

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DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) _____

Building Official 

Date 12-11-2025

Town of Marblehead
ZBA-APPLICATION
Page 3 of 3

Revision Date: 12-02-2020

Project Address 99 Clifton Avenue

Map(s) / Parcel(s) 9 - 36

NET OPEN AREA (NOA)

Lot area = A

EXISTING

PROPOSED

8180

8180

Area of features

footprint of accessory building(s)

0 SF

0 SF

footprint of building

1398 SF

1398 SF

footprint of deck(s), porch(es), step(s), bulkhead(s)

120 SF

252 SF

number of required parking spaces 2 x (9'x18' per space)

324 SF

324 SF

area of pond(s), or tidal area(s) below MHW

0 SF

0 SF

other areas (explain) _____

0

0 SF

Sum of features = B

1842

1974 SF

NET OPEN AREA (NOA) = (A - B)

6338 SF

6206 SF

GROSS FLOOR AREA (GFA)

accessory structure(s)

0

0

basement or cellar (area > 5' in height)

1255 SF

1255 SF

1st floor (12' or less in height) NOTE:

[for heights exceeding

1142 SF

1142 SF

2nd floor (12' or less in height)

12' see definition

1118 SF

1118 SF

3rd floor (12' or less in height)

of STORY ~200-7]

88

864 SF

4th floor (12' or less in height)

0

0

attic (area > 5' in height)

0

0

area under deck (if > 5' in height)

14

134 SF

roofed porch(es)

36 SF

48 SF

Gross Floor Area (GFA) = sum of the above areas

3653 SF

4561 SF

Proposed total change in GFA = (proposed GFA - existing GFA)

= 908 SF

Percent change in GFA = (proposed total change in GFA / existing GFA) x 100

= 24.86 %

Existing Open Area Ratio = (existing NOA / existing GFA)

= 1.74

Proposed Open Area Ratio = (proposed NOA / proposed GFA)

= 1.36

This worksheet applies

1. plan by/dated Bosworth Architect LLC

10/17/2025

to the following plan(s):

2. plan by/dated North Shore Survey

9/29/2025

3. plan by/dated _____

Building Official



Date 12-4-2025

Reviewed by
Building Department
For Zoning Board
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PROJECT DESCRIPTION & RELIEF REQUESTED

99 Clifton Avenue, Marblehead, MA 01945

Peter A. Pereyra and Taylor A. Pereyra

The Applicant requests that the Zoning Board of Appeals issue a Special Permit under the Zoning By-Laws allowing the construction of a third floor addition with exterior deck, extension of existing exterior deck on the first floor, and re-construction of an existing front entry way on a pre-existing non-conforming single-family dwelling having less than required Front Yard Setback on a Lot having less than required Lot Area, located at **99 CLIFTON AVENUE** in a **SINGLE RESIDENCE DISTRICT**. The proposed construction will be located partially within the Front Yard Setback and exceed expansion limits on a pre-existing non-conforming building by more than the allowed 10%, but will otherwise conform to all other Dimensional Regulations of the By-Law.

Reviewed by
Building Department
For Zoning Board
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