



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617

Revision Date: 08-01-2025

Town of Marblehead
ZONING BOARD OF APPEALS

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3

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Town Clerk

Project Address 99 Clifton Avenue Marblehead, MA 01945

Assessor Map(s) 9 Parcel Number(s) 36-0

OWNER INFORMATION

Signature _____ date _____

Name (printed) Peter A. Pereyra and Taylor A. Pereyra

Address 99 Clifton Avenue Marblehead, MA 01945

Phone Numbers: home _____ work _____ see contact info below

E-mail _____ fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature Matthew Wolverton date 12-4-2025

Name (printed) Matthew Wolverton, Law Offices of Lausier & Lausier LLC

Address 2 Hooper Street Marblehead, MA 01945

Phone Numbers: home _____ work 781 631 8830 x 2

E-mail matt@lausierlaw.com fax 781 631 8840

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

SEE ATTACHED DESCRIPTION

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Community Development & Planning Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the ~~hearing~~ ^{of Appeals} (Section 3(D), Board of Zoning Appeals Rules & Regulations).

Reviewed by
Building Department
For Zoning Board

1. Building Commissioner (pages 1, 2 and 3)

12-4-2025

2. Town Clerk's stamp (upper right corner)

REQUIRED SIGNATURES

View Bylaws - (Chapter 200, Zoning) - online at: <https://marbleheadma.gov/>

Town of Marblehead
ZBA-APPLICATION
Page 2 of 3

Revision Date: 12-02-2020

Project Address 99 Clifton Avenue Marblehead, MA 01945 **Map(s) / Parcel(s)** 9/36-0

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) single family residence

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes X No _____ (explain) _____

PROPOSED CHANGE OF USE

No X Yes _____ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes _____ No X

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

Lot Area - Less than required (§200-7 and Table 2)
 Lot Width - Less than required (§200-7)
 Frontage - Less than required (§200-7 and Table 2)
 Front Yard Setback - Less than required (Table 2)
 Rear Yard Setback - Less than required (Table 2)
 Side Yard Setback - Less than required (Table 2)
 Height - Exceeds maximum allowed (§200-7 and Table 2)
 Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
 Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
 Other Non-conformities (explain) _____
 No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

Lot Area - Less than required (§200-7 and Table 2)
 Lot Width - Less than required (§200-7)
 Frontage - Less than required (§200-7 and Table 2)
 Front Yard Setback - Less than required (Table 2)
 Rear Yard Setback - Less than required (Table 2)
 Side Yard Setback - Less than required (Table 2)
 Height - Exceeds maximum allowed (§200-7 and Table 2)
 Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
 Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
 Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
 Other Non-conformities (explain) _____
 No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission Yes _____ No X
Historic District Commission Yes _____ No X
Planning Board Yes _____ No X

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For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes X No _____ (explain) _____

Building Official 

Date 12-11-2025

Town of Marblehead
ZBA-APPLICATION
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Revision Date: 12-02-2020

Project Address	99 Clifton Avenue	Map(s) / Parcel(s)	9 - 36
<u>NET OPEN AREA (NOA)</u>		<u>EXISTING</u>	<u>PROPOSED</u>
Lot area = A	8180	8180	
Area of features			
footprint of accessory building(s)	0 SF	0 SF	
footprint of building	1398 SF	1398 SF	
footprint of deck(s), porch(es), step(s), bulkhead(s)	120 SF	252 SF	
number of required parking spaces <u>2</u> x (9'x18' per space)	324 SF	324 SF	
area of pond(s), or tidal area(s) below MHW	0 SF	0 SF	
other areas (explain) _____	0	0	SF
Sum of features = B	1842	1974	SF
NET OPEN AREA (NOA) = (A - B)	6338 SF	6206	SF
<u>GROSS FLOOR AREA (GFA)</u>			
accessory structure(s)	0	0	
basement or cellar (area > 5' in height)	1255 SF	1255 SF	
1st floor (12' or less in height) <u>NOTE:</u> [for heights exceeding	1142 SF	1142 SF	
2nd floor (12' or less in height)	1118 SF	1118 SF	
3rd floor (12' or less in height)	88	864 SF	
4th floor (12' or less in height)	0	0	
attic (area > 5' in height)	0	0	
area under deck (if > 5' in height)	14	134 SF	
roofed porch(es)	36 SF	48 SF	
Gross Floor Area (GFA) = sum of the above areas	3653 SF	4561	SF

Proposed total change in GFA = (proposed GFA - existing GFA) = 908 SF

Percent change in GFA = (proposed total change in GFA / existing GFA) x 100 = 24.86 %

Existing Open Area Ratio = (existing NOA / existing GFA) = 1.74

Proposed Open Area Ratio = (proposed NOA / proposed GFA) = 1.36

This worksheet applies 1. plan by/dated Bosworth Architect LLC 10/17/2025

to the following plan(s): 2. plan by/dated North Shore Survey 9/29/2025

3. plan by/dated _____

Building Official



Date 12-4-2025

Reviewed by
Building Department
For Zoning Board
Of Appeals

PROJECT DESCRIPTION & RELIEF REQUESTED

99 Clifton Avenue, Marblehead, MA 01945
Peter A. Pereyra and Taylor A. Pereyra

The Applicant requests that the Zoning Board of Appeals issue a Special Permit under the Zoning By-Laws allowing the construction of a third floor addition with exterior deck, extension of existing exterior deck on the first floor, and re-construction of an existing front entry way on a pre-existing non-conforming single-family dwelling having less than required Front Yard Setback on a Lot having less than required Lot Area, located at **99 CLIFTON AVENUE** in a **SINGLE RESIDENCE DISTRICT**. The proposed construction will be located partially within the Front Yard Setback and exceed expansion limits on a pre-existing non-conforming building by more than the allowed 10%, but will otherwise conform to all other Dimensional Regulations of the By-Law.

Reviewed by
Building Department
For Zoning Board
Of Appeals