



TOWN SEAL
tel: 781-631-1529

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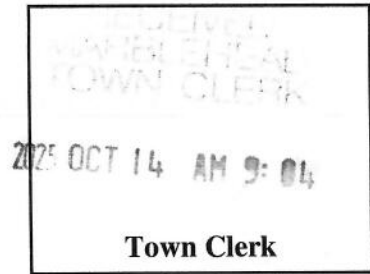
Revision Date: 08-01-2025

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 185 Pleasant St., Marblehead, MA 01945

Assessor Map(s) 109 **Parcel Number(s)** 29

OWNER INFORMATION

Signature _____ **date** 10.09.25

Name (printed) 185 Pleasant LLC

Address 185 Pleasant St., Marblehead, MA 01945

Phone Numbers: home _____ **work** _____

E-mail anniemaley123@gmail.com **fax** _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature _____ **date** _____

Name (printed) Walter Jacob Architects, LTD

Address Walter Jacob Architects, LTD, 89 Front St, Suite 208, Marblehead, MA 01945

Phone Numbers: home _____ **work** 781.631.7440

E-mail walter@architectwaj.com **fax** _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

The project seeks a zoning relief for the addition of three dormers within the existing building footprint.

DORMERS WILL INCREASE GROSS FLOOR AREA ON
A PROJECT RESTRICTED BY LANGUAGE IN PREVIOUS
ZONING APPROVAL.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Community Development & Planning Office:

- the signed and stamped application (3 pages);
- current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
- the project design plans as required;
- check for the applicable fee payable to the Town of Marblehead.

- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

Reviewed by
Building Department
For Zoning Board
Of Appeals

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) _____ 10-9-2025

2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: <https://marbleheadma.gov/>

Town of Marblehead
ZBA-APPLICATION
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Revision Date: 12-02-2020

Project Address 185 Pleasant St., Marblehead, MA 01945 **Map(s) / Parcel(s)** 109/29

ZONING DISTRICT (circle all that apply)

B **B1** BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Combined Residential & Commercial

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) _____

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☐ No ☒

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ **Lot Area** - Less than required (§200-7 and Table 2)
- ☐ **Lot Width** - Less than required (§200-7)
- ☐ **Frontage** - Less than required (§200-7 and Table 2)
- ☐ **Front Yard Setback** - Less than required (Table 2)
- ☐ **Rear Yard Setback** - Less than required (Table 2)
- ☐ **Side Yard Setback** - Less than required (Table 2)
- ☒ **Height** - Exceeds maximum allowed (§200-7 and Table 2)
- ☐ **Open Area** - Less than required (§200-7, §200-15.B(2) and Table 2)
- ☒ **Parking** - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ **Other Non-conformities** (explain) _____
- ☐ **No Existing Dimensional Non-conformities**

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ **Lot Area** - Less than required (§200-7 and Table 2)
- ☐ **Lot Width** - Less than required (§200-7)
- ☐ **Frontage** - Less than required (§200-7 and Table 2)
- ☐ **Front Yard Setback** - Less than required (Table 2)
- ☐ **Rear Yard Setback** - Less than required (Table 2)
- ☐ **Side Yard Setback** - Less than required (Table 2)
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- ☒ **Open Area** - Less than required (§200-7, §200-15.B(2) and Table 2)
- ☐ **Parking** - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ **Exceeds 10% Expansion Limits for Non-conforming Building** (§200-30.D)
- ☐ **Other Non-conformities** (explain) _____
- ☐ **No New Dimensional Non-conformities**

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Historic District Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Planning Board	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

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For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) _____

Building Official  **Date** 10-9-2025

Town of Marblehead
ZBA-APPLICATION
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Revision Date: 12-02-2020

Project Address 185 Pleasant St., Marblehead, MA 01945

Map(s) / Parcel(s) 109/29

NET OPEN AREA (NOA)

Lot area = A

EXISTING

8,938 sf

PROPOSED

8,938 sf

Area of features

footprint of accessory building(s)

N/A

N/A

footprint of building

2,124 sf

2,124 sf

footprint of deck(s), porch(es), step(s), bulkhead(s)

490 sf

490 sf

number of required parking spaces 11 x (9' x 18' per space)

1,782 sf

1,782 sf

area of pond(s), or tidal area(s) below MHW

N/A

N/A

other areas (explain) _____

Sum of features = B

4,396 sf

4,396 sf

Net Open Area (NOA) = (A - B)

4,542 sf

4,542 sf

GROSS FLOOR AREA (GFA)

accessory structure(s)

N/A

N/A

basement or cellar (area >5' in height)

2,124 sf

2,124 sf

1st floor (12' or less in height) NOTE: [for heights exceeding

2,124 sf

2,124 sf

2nd floor (12' or less in height)

12' see definition

1,975 sf

1,975 sf

3rd floor (12' or less in height)

of STORY §200-7]

753 sf

870 sf

4th floor (12' or less in height)

attic (area >5' in height)

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234 sf

234 sf

area under deck (if >5' in height)

roofed porch(es)

Gross Floor Area (GFA) = sum of the above areas

7,210 sf

7,327 sf

Proposed total change in GFA = (proposed GFA - existing GFA) = 117 sf

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 1.6 %


Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 0.629

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 0.619

This worksheet applies 1. plan by/dated Walter Jacob Architects LTD / 10.09.25

to the following plan(s): 2. plan by/dated _____

3. plan by/dated _____

Building Official 

Date 10-9-2025