



TOWN SEAL

tel: 781-631-1529

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Revision Date: 08-01-2025

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

2025 OCT 14 AM 9:04

ZBA APPLICATION

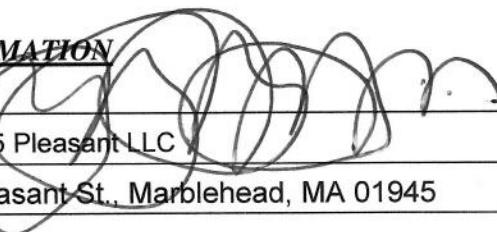
PAGE 1 of 3

Town Clerk

Project Address 185 Pleasant St., Marblehead, MA 01945

Assessor Map(s) 109 Parcel Number(s) 29

OWNER INFORMATION

Signature  date 10.09.25
Name (printed) 185 Pleasant LLC
Address 185 Pleasant St., Marblehead, MA 01945

Phone Numbers: home _____ work _____
E-mail anniemaley123@gmail.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature _____ date _____
Name (printed) Walter Jacob Architects, LTD
Address Walter Jacob Architects, LTD, 89 Front St, Suite 208, Marblehead, MA 01945
Phone Numbers: home _____ work 781.631.7440
E-mail walter@architectwaj.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

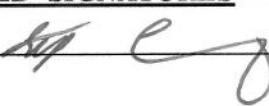
The project seeks a zoning relief for the addition of three dormers within the existing building footprint.

DORMERS WILL INCREASE GROSS FLOOR AREA ON
A PROJECT RESTRICTED BY LANGUAGE IN PREVIOUS
ZONING APPROVAL.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Community Development & Planning Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

Reviewed by
Building Department
For Zoning Board
Of Appeals

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3)  10-9-2025
2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: <https://marbleheadma.gov/>

Town of Marblehead
ZBA-APPLICATION
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Revision Date: 12-02-2020

Project Address 185 Pleasant St., Marblehead, MA 01945 Map(s) / Parcel(s) 109/29

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Combined Residential & Commercial

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes No _____ (explain) _____

PROPOSED CHANGE OF USE

No Yes _____ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes _____ No

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

Lot Area - Less than required (§200-7 and Table 2)
 Lot Width - Less than required (§200-7)
 Frontage - Less than required (§200-7 and Table 2)
 Front Yard Setback - Less than required (Table 2)
 Rear Yard Setback - Less than required (Table 2)
 Side Yard Setback - Less than required (Table 2)
 Height - Exceeds maximum allowed (§200-7 and Table 2)
 Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
 Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
 Other Non-conformities (explain) _____
 No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

Lot Area - Less than required (§200-7 and Table 2)
 Lot Width - Less than required (§200-7)
 Frontage - Less than required (§200-7 and Table 2)
 Front Yard Setback - Less than required (Table 2)
 Rear Yard Setback - Less than required (Table 2)
 Side Yard Setback - Less than required (Table 2)
 Height - Exceeds maximum allowed (§200-7 and Table 2)
 Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
 Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
 Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
 Other Non-conformities (explain) _____
 No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes _____	No <input checked="" type="checkbox"/>
Historic District Commission	Yes _____	No <input checked="" type="checkbox"/>
Planning Board	Yes _____	No <input checked="" type="checkbox"/>

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For Zoning Board
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DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes No _____ (explain) _____

Building Official *[Signature]* Date 10 - 9 - 2025

Town of Marblehead
ZBA-APPLICATION
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Revision Date: 12-02-2020

Project Address 185 Pleasant St., Marblehead, MA 01945 **Map(s) / Parcel(s)** 109/29

<u>NET OPEN AREA (NOA)</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Lot area = A	<u>8,938 sf</u>	<u>8,938 sf</u>
Area of features		
footprint of accessory building(s)	<u>N/A</u>	<u>N/A</u>
footprint of building	<u>2,124 sf</u>	<u>2,124 sf</u>
footprint of deck(s), porch(es), step(s), bulkhead(s)	<u>490 sf</u>	<u>490 sf</u>
number of required parking spaces <u>11</u> x (9'x 18' per space)	<u>1,782 sf</u>	<u>1,782 sf</u>
area of pond(s), or tidal area(s) below MHW	<u>N/A</u>	<u>N/A</u>
other areas (explain) _____	_____	_____
Sum of features = B	<u>4,396 sf</u>	<u>4,396 sf</u>
Net Open Area (NOA) = (A - B)	<u>4,542 sf</u>	<u>4,542 sf</u>

<u>GROSS FLOOR AREA (GFA)</u>		
accessory structure(s)	<u>N/A</u>	<u>N/A</u>
basement or cellar (area >5' in height)	<u>2,124 sf</u>	<u>2,124 sf</u>
1st floor (12' or less in height) <u>NOTE: [for heights exceeding</u>	<u>2,124 sf</u>	<u>2,124 sf</u>
2nd floor (12' or less in height)	<u>1,975 sf</u>	<u>1,975 sf</u>
3rd floor (12' or less in height)	<u>753 sf</u>	<u>870 sf</u>
4th floor (12' or less in height)	_____	_____
attic (area >5' in height)	Reviewed by Building Department For Zoning Board Of Appeals	_____
area under deck (if >5' in height)	<u>234 sf</u>	<u>234 sf</u>
roofed porch(es)	_____	_____
Gross Floor Area (GFA) = sum of the above areas	<u>7,210 sf</u>	<u>7,327 sf</u>

<u>Proposed total change in GFA</u> = (proposed GFA - existing GFA)	<u>= 117 sf</u>
<u>Percent change in GFA</u> = (proposed total change in GFA ÷ existing GFA) x 100	<u>= 1.6 %</u>
<u>Existing Open Area Ratio</u> = (existing NOA ÷ existing GFA)	<u>= 0.629</u>
<u>Proposed Open Area Ratio</u> = (proposed NOA ÷ proposed GFA)	<u>= 0.619</u>

This worksheet applies 1. plan by/dated Walter Jacob Architects LTD / 10.09.25
to the following plan(s): 2. plan by/dated
3. plan by/dated

Building Official  **Date** 10-9-2025