



TOWN SEAL  
tel: 781-631-1529

fax: 781-631-2617

Revision Date: 12-02-20

# Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building  
7 Widger Road, Marblehead, MA 01945

## **ZBA APPLICATION**

PAGE 1 of 3

2025 SEP 29 AM 8:36

Town Clerk

Project Address 1-7 Pleasant Street

Assessor Map(s) 149 Parcel Number(s) 9

### **OWNER INFORMATION**

Signature \_\_\_\_\_ date \_\_\_\_\_

Name (printed) Old Town Properties LLC

Address 1 Curtis Street, East Boston, MA 02128

Phone Numbers: home \_\_\_\_\_ work 781-608-3057

E-mail julius @ lokosrealty.com

fax \_\_\_\_\_

### **APPLICANT or REPRESENTATIVE INFORMATION** (if different from owner)

Signature [Signature] date 9/25/25

Name (printed) Old Town Properties LLC

Address c/o Paul M. Lynch, Esq. Five Spring Street, Marblehead, MA 01945

Phone Numbers: home \_\_\_\_\_ work 781-631-7808

E-mail lynch@marbleheadlaw.com

fax \_\_\_\_\_

### **PROJECT DESCRIPTION & RELIEF REQUESTED** (attach additional page if necessary)

Special Permit to change current retail/office building to a Converted Dwelling

with four dwelling units with no exterior changes.

Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
  - the signed and stamped application (3 pages);
  - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
  - the project design plans as required;
  - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

### **REQUIRED SIGNATURES**

1. Building Commissioner (pages 1, 2 and 3) [Signature] 9-25-2025
2. Town Clerk's stamp (upper right corner)

**View Bylaws - (Chapter 200, Zoning) - online at: [www.marblehead.org/](http://www.marblehead.org/)**

**Town of Marblehead**  
**ZBA-APPLICATION**

Page 2 of 3

Revision Date: 12-02-2020

Project Address 1-7 Pleasant Street

Map(s) / Parcel(s) 149/9

**ZONING DISTRICT** (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

**CURRENT USE** (explain) Retail and office use

**CURRENT USE CONFORMS TO ZONING** (Article IV, Table 1)

Yes X No \_\_\_\_\_ (explain) \_\_\_\_\_

**PROPOSED CHANGE OF USE**

No \_\_\_\_\_ Yes X (explain) Converted dwelling

**PROPOSED CONSTRUCTION QUALIFIES AS "Building New"** (§200-7) Yes \_\_\_\_\_ No X

**EXISTING DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- X Lot Area - Less than required (§200-7 and Table 2)  
\_\_\_\_ Lot Width - Less than required (§200-7)  
\_\_\_\_ Frontage - Less than required (§200-7 and Table 2)  
\_\_\_\_ Front Yard Setback - Less than required (Table 2)  
X Rear Yard Setback - Less than required (Table 2)  
\_\_\_\_ Side Yard Setback - Less than required (Table 2)  
X Height - Exceeds maximum allowed (§200-7 and Table 2)  
X Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)  
X Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)  
\_\_\_\_ Other Non-conformities (explain) \_\_\_\_\_  
\_\_\_\_ No Existing Dimensional Non-conformities

**NEW DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- \_\_\_\_ Lot Area - Less than required (§200-7 and Table 2)  
\_\_\_\_ Lot Width - Less than required (§200-7)  
\_\_\_\_ Frontage - Less than required (§200-7 and Table 2)  
\_\_\_\_ Front Yard Setback - Less than required (Table 2)  
\_\_\_\_ Rear Yard Setback - Less than required (Table 2)  
\_\_\_\_ Side Yard Setback - Less than required (Table 2)  
\_\_\_\_ Height - Exceeds maximum allowed (§200-7 and Table 2)  
\_\_\_\_ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)  
\_\_\_\_ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)  
\_\_\_\_ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)  
\_\_\_\_ Other Non-conformities (explain) \_\_\_\_\_  
X No New Dimensional Non-conformities

Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

**ADDITIONAL HEARINGS REQUIRED**

Conservation Commission	Yes _____	No <u>X</u>
Historic District Commission	Yes _____	No <u>X</u>
Planning Board	Yes _____	No <u>X</u>

**DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS** (Sections 3(A) and 3(C))

Yes X No \_\_\_\_\_ (explain) \_\_\_\_\_

Building Official \_\_\_\_\_

Date 9-25-2025

**Town of Marblehead**  
**ZBA-APPLICATION**  
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 1-7 Pleasant Street

Map(s) / Parcel(s) 149/9

**NET OPEN AREA (NOA)**

Lot area = A

**EXISTING**

**PROPOSED**

2,530

2,530

Area of features

footprint of accessory building(s)

0

0

footprint of building

2,075

2,075

footprint of deck(s), porch(es), step(s), bulkhead(s)

0

0

number of required parking spaces 12 x (9'x 18' per space)

1,944

1,944

area of pond(s), or tidal area(s) below MHW

0

0

other areas (explain) \_\_\_\_\_

0

0

Sum of features = B

4,019

4,019

Net Open Area (NOA) = (A - B)

-1,489

-1,489

**GROSS FLOOR AREA (GFA)**

accessory structure(s)

0

0

basement or cellar (area >5' in height)

2,075

2,075

1st floor (12' or less in height) NOTE: [for heights exceeding

2,006

2,006

2nd floor (12' or less in height) 12' see definition

2,075

2,075

3rd floor (12' or less in height) of STORY §200-7]

2,075

2,075

4th floor (12' or less in height)

0

0

attic (area >5' in height)

0

0

area under deck (if >5' in height)

0

0

roofed porch(es)

0

0

Gross Floor Area (GFA) = sum of the above areas

8,821

8,821

**Proposed total change in GFA** = (proposed GFA - existing GFA)

= 0

**Percent change in GFA** = (proposed total change in GFA ÷ existing GFA) x 100

= 0

%

**Existing Open Area Ratio** = (existing NOA ÷ existing GFA)

= -168

**Proposed Open Area Ratio** = (proposed NOA ÷ proposed GFA)

= -168

This worksheet applies 1. plan by/dated Graham Salzberg 9/22/2025

to the following plan(s): 2. plan by/dated North Shore Survey Corporation 08/21/2025

3. plan by/dated \_\_\_\_\_

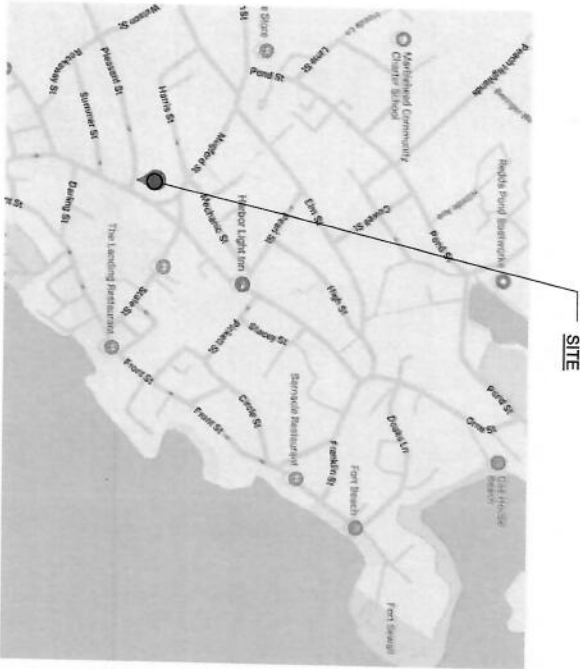
Building Official \_\_\_\_\_

Date 9-25-2025

RENOVATIONS TO:

# PLEASANT ST. CONDOS

1-7 PLEASANT ST MARBLEHEAD MA 01945



LOCATION MAP



## ZONING DRAWINGS - INDEX:

- COVER SHEET
- C1.0 PLOT PLAN
- A0.0 BASEMENT PLAN (NO CHANGE)
- A1.0 FIRST FLOOR PLAN (NO CHANGE)
- A2.0 SECOND FLOOR (DEMO) PLAN
- A2.1 SECOND FLOOR - PROPOSED
- A3.0 THIRD FLOOR (DEMO) PLAN
- A3.1 THIRD FLOOR - PROPOSED

## ZONING DRAWINGS SEPT 22, 2025

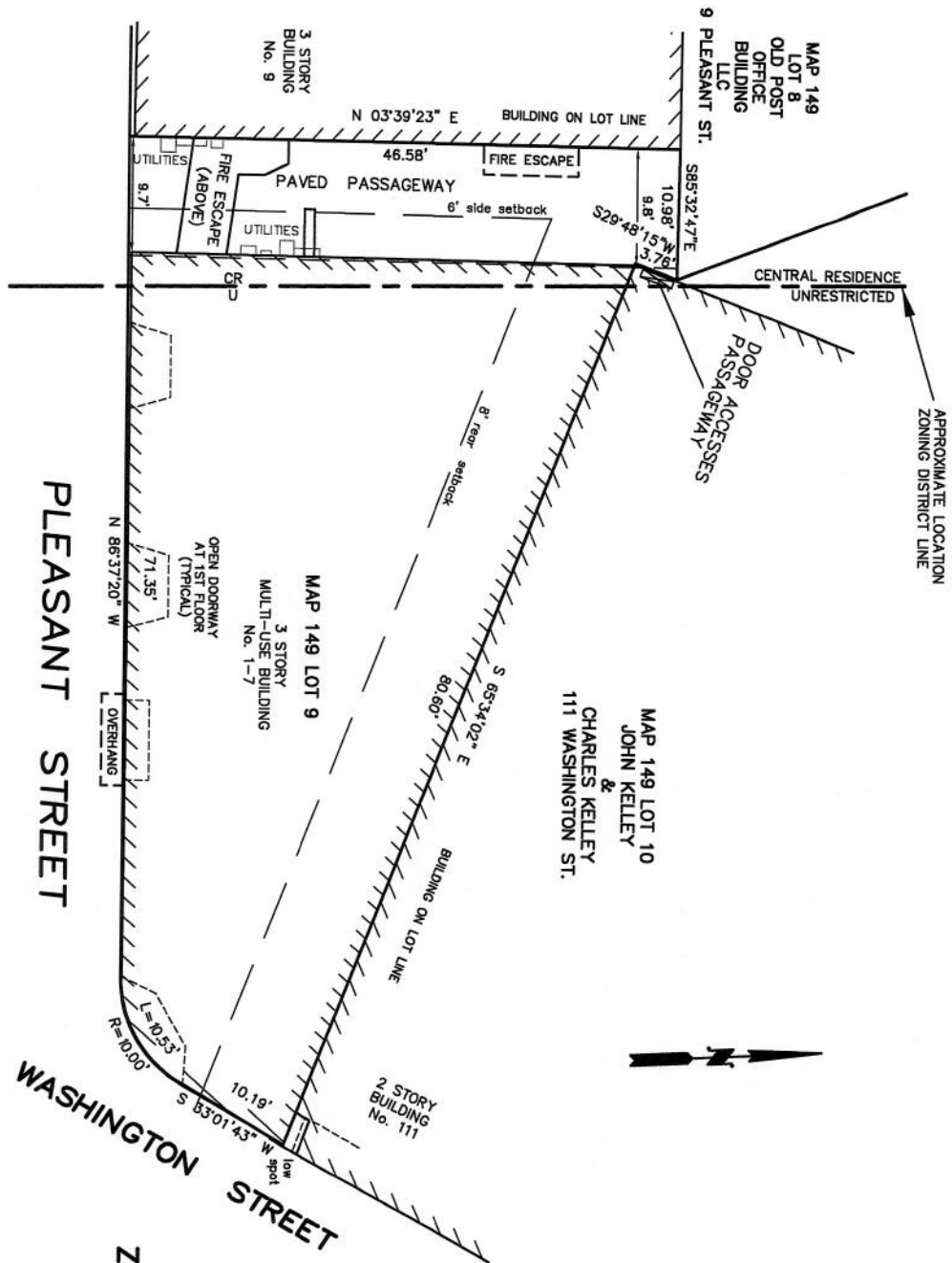
RENOVATIONS TO:  
PLEASANT ST.  
CONDOS

### REVISIONS

NO.	DATE	DESCRIPTION

Job No	Scale	AS NOTED	Drawn	Date
2021-03	AS NOTED			08/22/2025

THIS PLAN IS THE RESULT  
OF AN INSTRUMENT SURVEY.

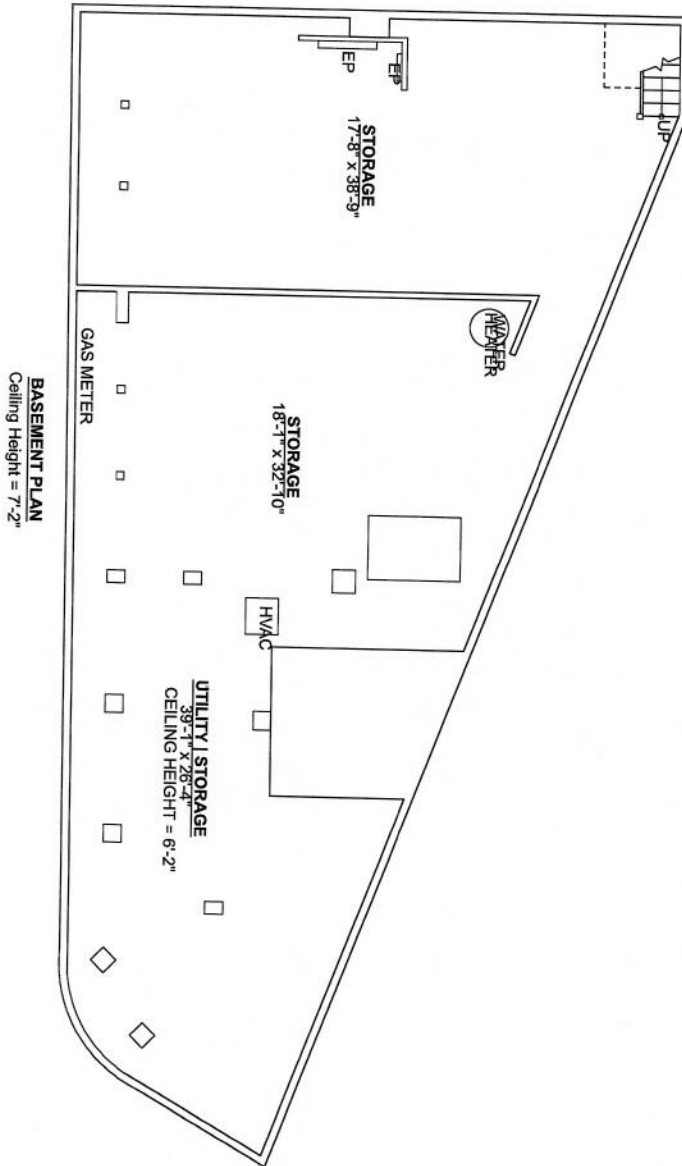


LOT AREA	REQUIRED		EXISTING		PROPOSED	
	FRONTAGE	35	92.07'	2530±	2530±	92.07'
FRONT	NONE	0.4'				
SIDE	6	9.7'				
REAR	8	0				
BLDG HEIGHT	35	47.0'±				

ZONING DISTRICT - UNRESTRICTED  
USE - COMBINED RES. & COMM'L

ZONING BOARD OF APPEALS PLAN  
1-7 PLEASANT STREET  
MARBLEHEAD  
PREPARED FOR  
JULIUS SOKOL  
SCALE 1"=10'  
AUGUST 21, 2025  
NORTH SHORE SURVEY CORPORATION  
14 BROWN ST. - SALEM, MA  
(978) 744-4800  
# 5844

15.17



**BASEMENT PLAN**  
Ceiling Height = 7'-2"

**A** EXISTING BASEMENT PLAN - (NOT CHANGE)

SCALE: 1/8" = 1'-0"



**ZONING DRAWINGS**  
SEPT 22, 2025


**A0.0**

**BASEMENT PLAN (NO CHANGE)**

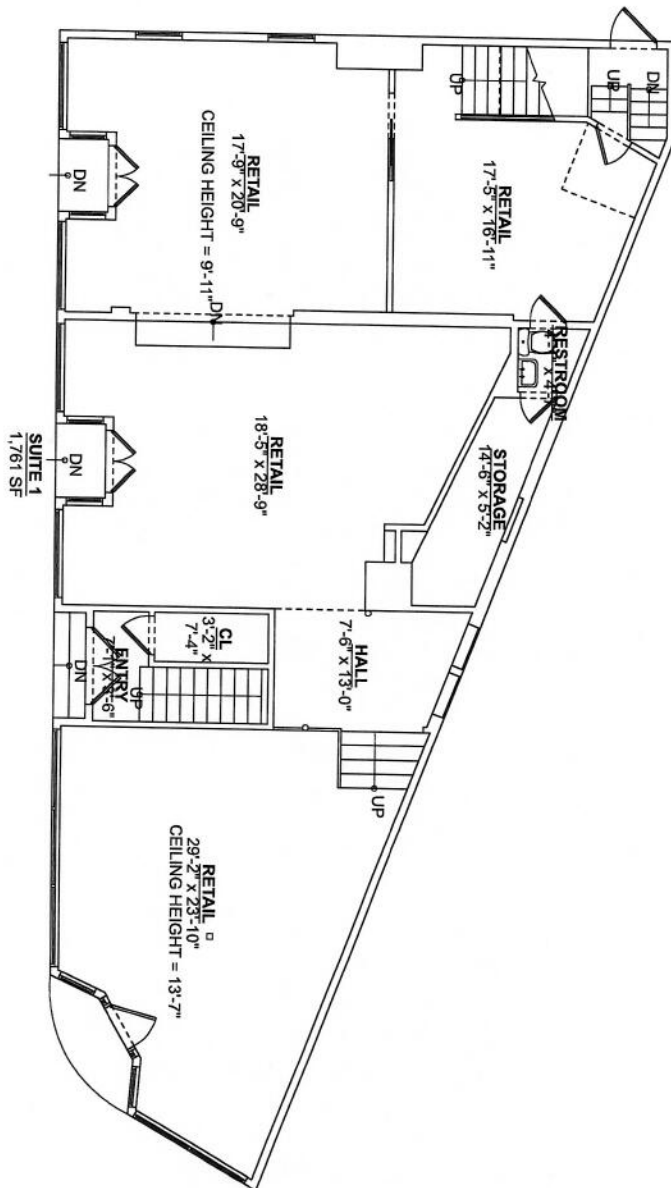
Job No	Scale AS NOTED	Date
2021-03		09/22/2025

RENOVATIONS TO:  
**PLEASANT ST. CONDOS**

1-7 PLEASANT ST MARBLEHEAD MA 01945

  
Graham Salzberg  
Residential Architecture +  
5 Rowland Ct. Marblehead MA  
781.724.4414

11 x 17



FIRST FLOOR PLAN

**A** EXISTING FIRST FLOOR PLAN - (NO CHANGE)

SCALE: 1/8" = 1'-0"



ZONING DRAWINGS  
SEPT 22, 2025

A1.0

FIRST FLOOR PLAN (NO CHANGE)

Job No	Scale AS NOTED	Date
2021-03		09/22/2025

RENOVATIONS TO:  
**PLEASANT ST. CONDOS**

1-7 PLEASANT ST MARBLEHEAD MA 01945

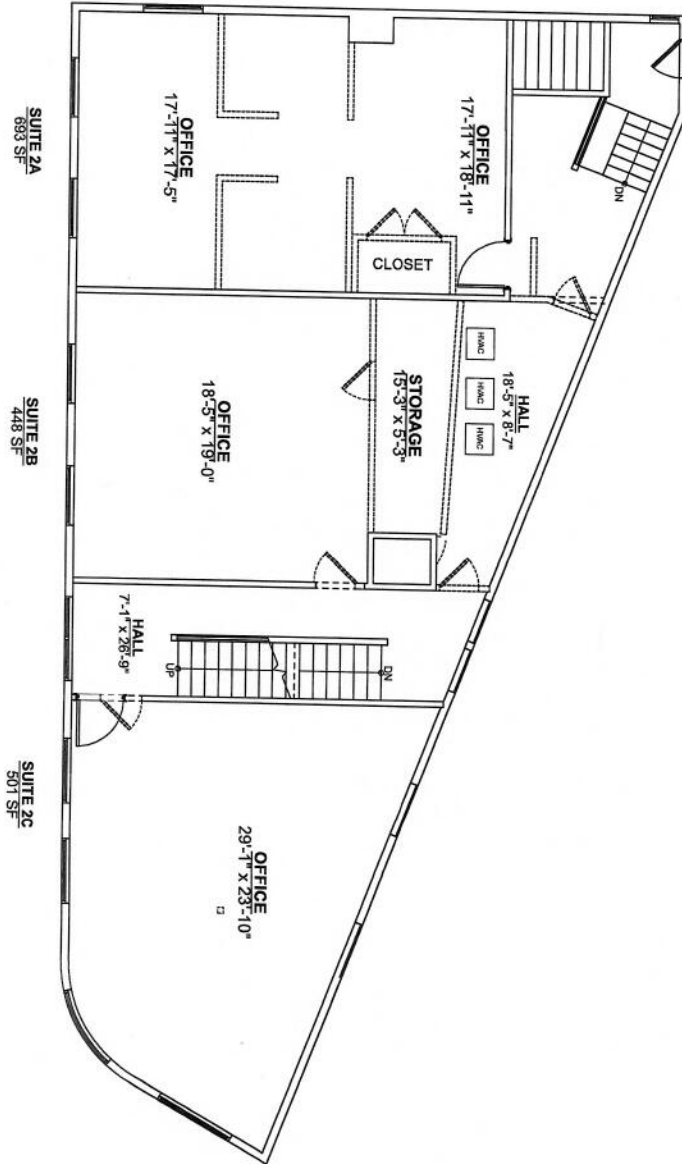
Graham Salzberg  
Residential Architecture +  
5 Rowland Ct. Marblehead MA  
781.724.4414

11 x 17

# A

## EXISTING SECOND FLOOR (DEMO) PLAN

SCALE: 1/8" = 1'-0"



### DEMOLITION KEY

- EXISTING PARTITION
- DEMO PARTITION

ZONING DRAWINGS  
SEPT 22, 2025

A2.0

### SECOND FLOOR (DEMO) PLAN

Job No	Scale	Date
2021-03	AS NOTED	09/22/2025

### PLEASANT ST. CONDOS

1-7 PLEASANT ST MARBLEHEAD MA 01945

RENOVATIONS TO:  
Graham Solberg  
Residential Architecture +  
5 Rowland Ct. Marblehead MA  
781.724.4414

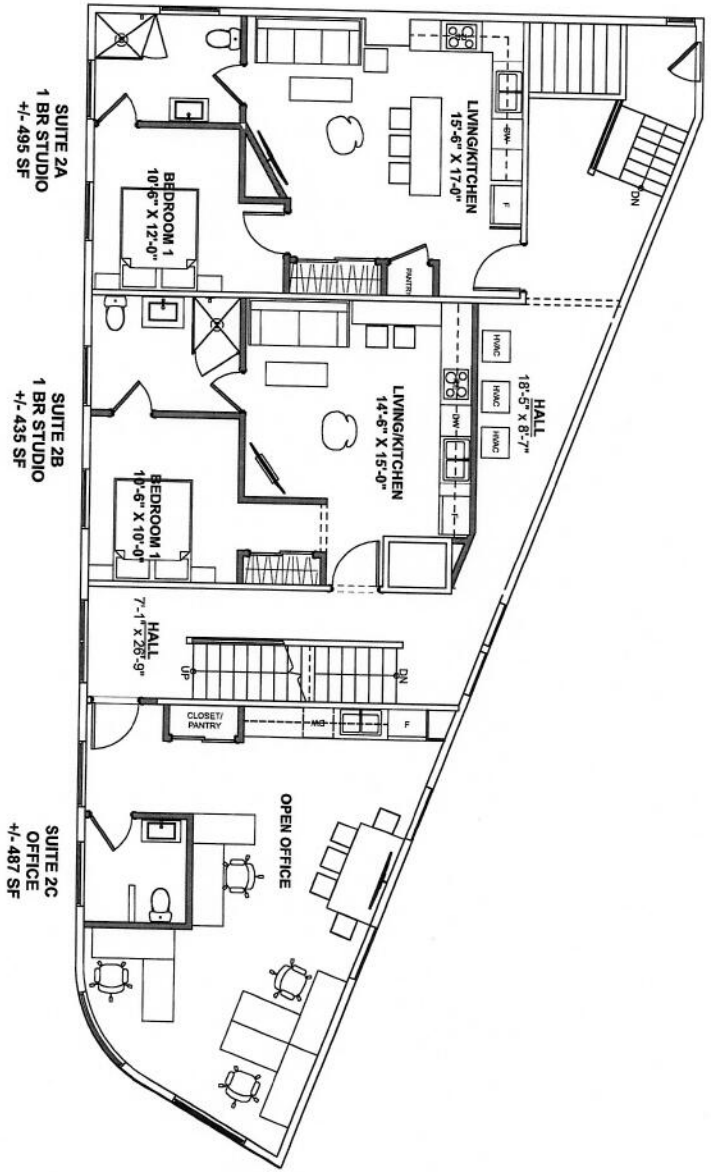


11.3.17

A

SECOND FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN  
Ceiling Height = 12'-3"

WALL LEGEND

- EXISTING PARTITION
- NEW PARTITION

ZONING DRAWINGS  
SEPT 22, 2025

A2.1

SECOND FLOOR - PROPOSED

Job No	Scale AS NOTED	Date
2021-03		09/22/2025

RENOVATIONS TO:  
PLEASANT ST. CONDOS

1-7 PLEASANT ST MARBLEHEAD MA 01945

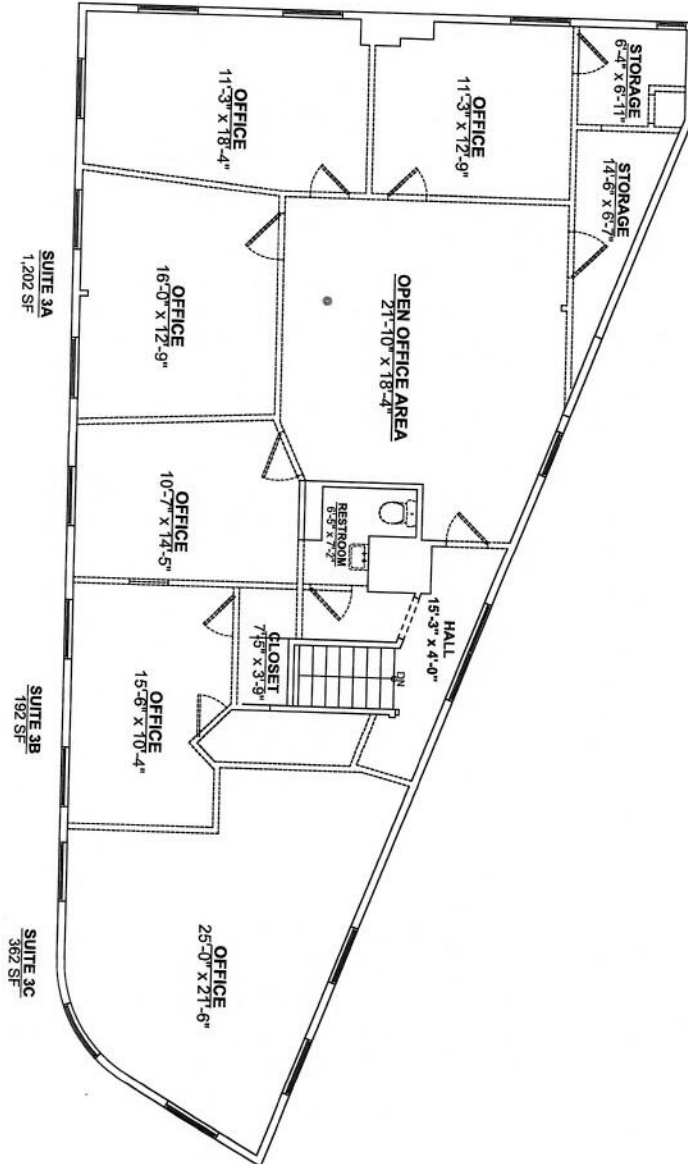
Graham Salzberg  
Residential Architecture +  
5 Rowland Ct. Marblehead MA  
781.724.4414

**A** EXISTING THIRD FLOOR (DEMO) PLAN

SCALE: 1/8" = 1'-0"



**THIRD FLOOR PLAN**  
Ceiling Height = 11'-1"



DEMOLITION KEY	
	EXISTING PARTITION
	DEMO PARTITION

ZONING DRAWINGS  
SEPT 22, 2025

A3.0

THIRD FLOOR (DEMO) PLAN		
Job No	Scale	Date
2021-03	AS NOTED	09/22/2025

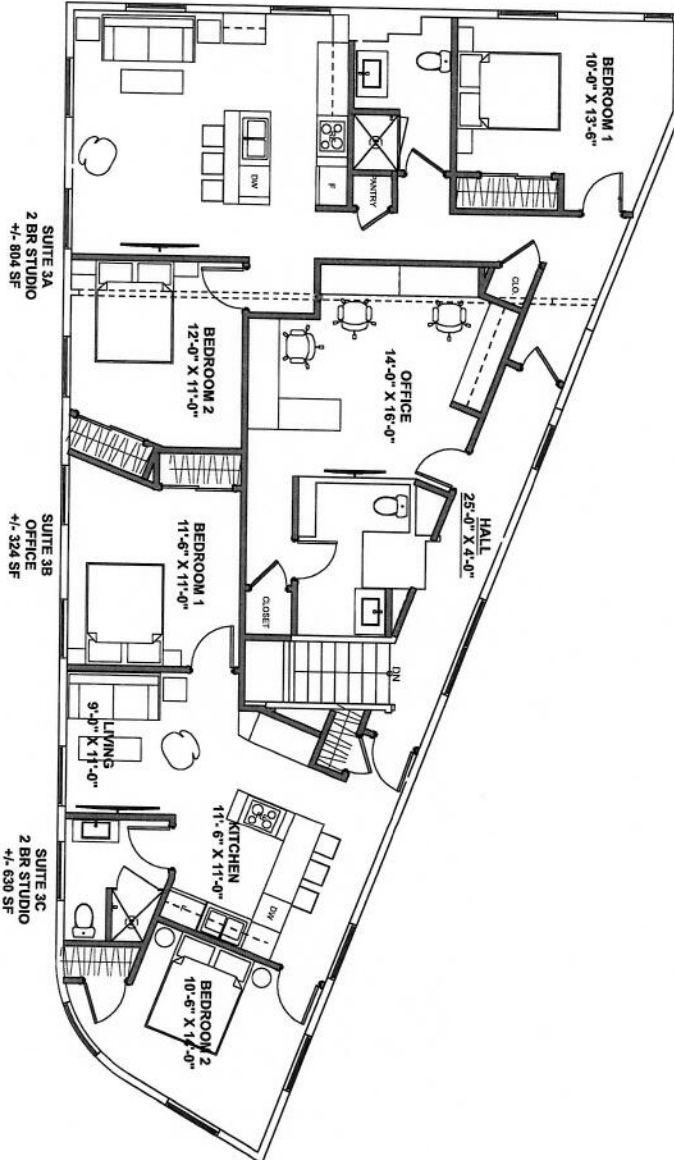
RENOVATIONS TO:  
**PLEASANT ST. CONDOS**  
1-7 PLEASANT ST MARBLEHEAD MA 01945

Graham Balzberg  
Residential Architecture +  
5 Rowland Ct. Marblehead MA  
781.724.4414

11 x 17

**A**

THIRD FLOOR PLAN - PROPOSED  
SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN  
Ceiling Height = 11'-1"

WALL LEGEND



ZONING DRAWINGS  
SEPT 22, 2025

A3.1

THIRD FLOOR - PROPOSED		
Job No	Scale AS NOTED	Date
2021-03		09/22/2025

RENOVATIONS TO:  
**PLEASANT ST. CONDOS**

1-7 PLEASANT ST MARBLEHEAD MA 01945

Graham Salzberg  
Residential Architecture +  
5 Rowland Ct. Marblehead MA  
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