



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead
ZONING BOARD OF APPEALS

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION
PAGE 1 of 3

2025 SEP 29 AM 8:36

Town Clerk

Project Address 1-7 Pleasant Street

Assessor Map(s) 149 Parcel Number(s) 9

OWNER INFORMATION

Signature _____ date _____

Name (printed) Old Town Properties LLC

Address 1 Curtis Street, East Boston, MA 02128

Phone Numbers: home _____ work 781-608-3057

E-mail julius@lokosrealty.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature Paul M. Lynch date 9/25/25

Name (printed) Old Town Properties LLC

Address c/o Paul M. Lynch, Esq. Five Spring Street, Marblehead, MA 01945

Phone Numbers: home _____ work 781-631-7808

E-mail lynch@marbleheadlaw.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Special Permit to change current retail/office building to a Converted Dwelling
with four dwelling units with no exterior changes.

Reviewed by
Building Department
For Zoning Board
Of Appeals

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) Signature 9-25-2025

2. Town Clerk's stamp (upper right corner) Signature

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION
Page 2 of 3

Revision Date: 12-02-2020

Project Address 1-7 Pleasant Street Map(s) / Parcel(s) 149/9

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Retail and office use

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes No _____ (explain) _____

PROPOSED CHANGE OF USE

No _____ Yes (explain) Converted dwelling

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes _____ No

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

Lot Area - Less than required (§200-7 and Table 2)
 Lot Width - Less than required (§200-7)
 Frontage - Less than required (§200-7 and Table 2)
 Front Yard Setback - Less than required (Table 2)
 Rear Yard Setback - Less than required (Table 2)
 Side Yard Setback - Less than required (Table 2)
 Height - Exceeds maximum allowed (§200-7 and Table 2)
 Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
 Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
 Other Non-conformities (explain) _____
 No Existing Dimensional Non-conformities

Reviewed by
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Of Appeals

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

Lot Area - Less than required (§200-7 and Table 2)
 Lot Width - Less than required (§200-7)
 Frontage - Less than required (§200-7 and Table 2)
 Front Yard Setback - Less than required (Table 2)
 Rear Yard Setback - Less than required (Table 2)
 Side Yard Setback - Less than required (Table 2)
 Height - Exceeds maximum allowed (§200-7 and Table 2)
 Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
 Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
 Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
 Other Non-conformities (explain) _____
 No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes _____	No <input checked="" type="checkbox"/>
Historic District Commission	Yes _____	No <input checked="" type="checkbox"/>
Planning Board	Yes _____	No <input checked="" type="checkbox"/>

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes No _____ (explain) _____

Building Official *[Signature]* Date 9-25-2025

Town of Marblehead
ZBA-APPLICATION
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Revision Date: 12-02-2020

Project Address 1-7 Pleasant Street

Map(s) / Parcel(s) 149/9

NET OPEN AREA (NOA)

Lot area = **A**

Area of features

footprint of accessory building(s)

EXISTING

2,530

PROPOSED

2,530

footprint of building

0

0

footprint of deck(s), porch(es), step(s), bulkhead(s)

2,075

2,075

number of required parking spaces 12 x (9'x 18' per space)

1,944

1,944

area of pond(s), or tidal area(s) below MHW

0

0

other areas (explain) _____

0

0

Sum of features = B

4,019

4,019

Net Open Area (NOA) = (A - B)

-1,489

-1,489

GROSS FLOOR AREA (GFA)

accessory structure(s)

0

0

basement or cellar (area >5' in height)

2,075

2,075

1st floor (12' or less in height) NOTE: [for heights exceeding

2,006

2,006

2nd floor (12' or less in height)

12' see definition

2,075

2,075

3rd floor (12' or less in height)

of STORY §200-7]

2,075

2,075

4th floor (12' or less in height)

0

0

attic (area >5' in height)

Reviewed by
Building Department
For Zoning Board
Of Appeals

0

0

area under deck (if >5' in height)

0

0

roofed porch(es)

0

0

Gross Floor Area (GFA) = sum of the above areas

8,821

8,821

Proposed total change in GFA = (proposed GFA - existing GFA)

= 0

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100

= 0

%

Existing Open Area Ratio = (existing NOA ÷ existing GFA)

= -168

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA)

= -168

This worksheet applies 1. plan by/dated Graham Salzberg 9/22/2025

to the following plan(s): 2. plan by/dated North Shore Survey Corporation 08/21/2025

3. plan by/dated _____

Building Official _____



Date

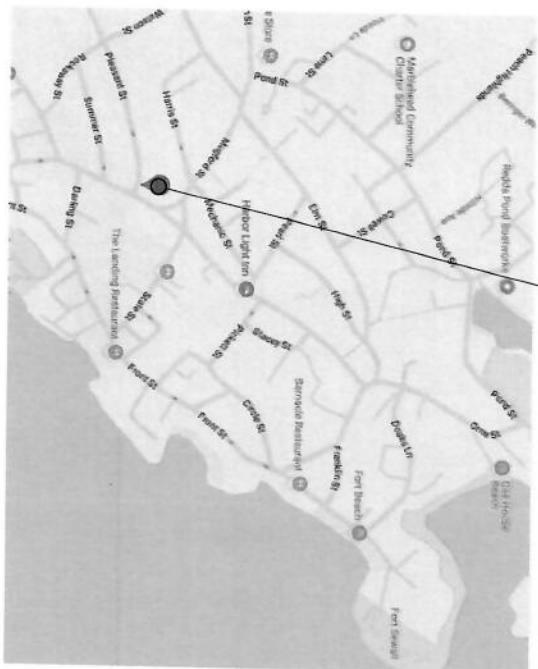
9-25-2025

RENOVATIONS TO:

PLEASANT ST. CONDOS

1-7 PLEASANT ST MARBLEHEAD MA 01945

SITE



LOCATION MAP

ZONING DRAWINGS - INDEX:

C1.0	COVER SHEET
A0.0	PLOT PLAN
A1.0	BASEMENT PLAN (NO CHANGE)
A2.0	FIRST FLOOR PLAN (NO CHANGE)
A2.1	SECOND FLOOR (DEMO) PLAN
A3.0	THIRD FLOOR - PROPOSED
A3.1	THIRD FLOOR - PROPOSED

Graham Salkin, Architect
Residential Architect
5 Bedford St, Marblehead MA
781.724.4414

ZONING DRAWINGS
SEPT 22, 2025

RENOVATIONS TO:
PLEASANT ST.
CONDOS

REVISIONS

Job No	2021-03	Scale	AS NOTED	Drawn	Date
11x17					09/22/2025

APPROXIMATE LOCATION
ZONING DISTRICT LINE

MAP 149
LOT 8
OLD POST
OFFICE
BUILDING
LLC

9 PLEASANT ST.
S85°32'47"E
10.98' S29°48'15"W
8.8' S 85°34'02"E
3.76'

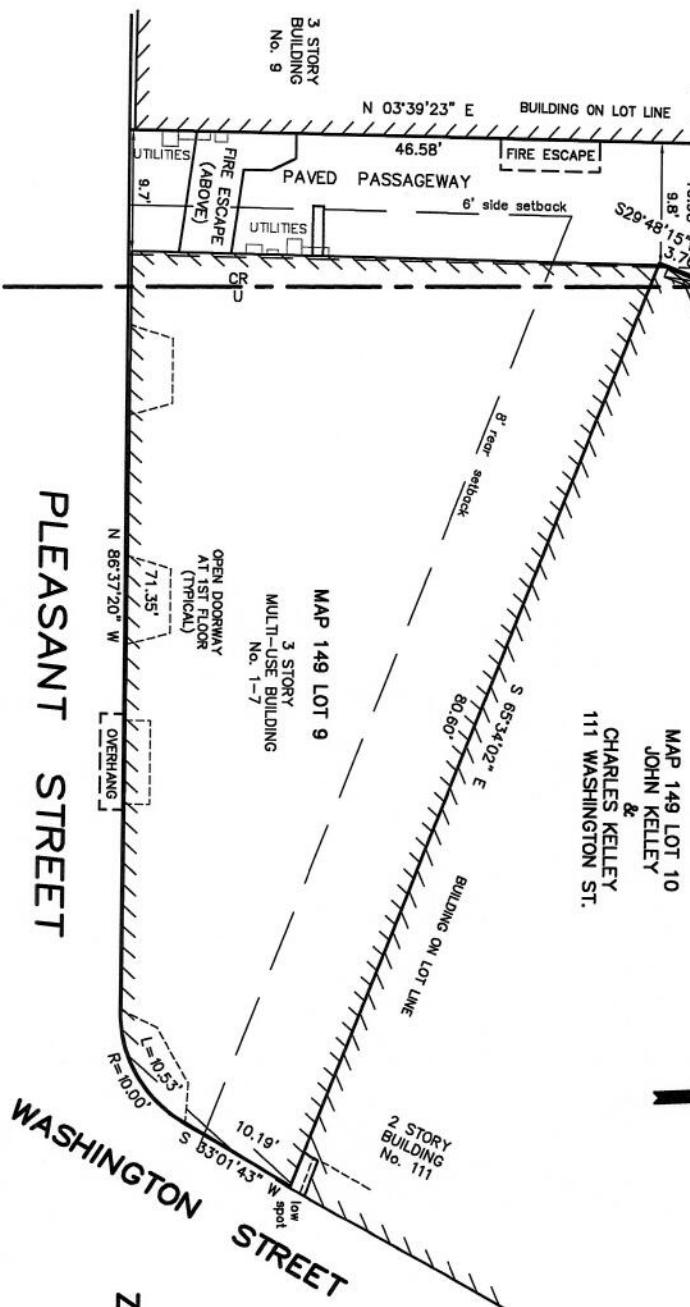
CENTRAL RESIDENCE
UNRESTRICTED
DOOR
PASSAGEWAYS
ACCESESSES

MAP 149 LOT 10
JOHN KELLEY
&
CHARLES KELLEY
111 WASHINGTON ST.



ZONING DISTRICT - UNRESTRICTED
USE - COMBINED RES. & COMMCL

	REQUIRED	EXISTING	PROPOSED
LOT AREA	10000	2530±	2530±
FRONTAGE	35	92.07'	92.07'
FRONT	NONE	0±'	
SIDE	6	9.7'	
REAR	8	0	
BLDG HEIGHT	35	47.0±	



ZONING BOARD OF APPEALS PLAN
1-7 PLEASANT STREET
MARBLEHEAD
PREPARED FOR
JULIUS SOKOL

THIS PLAN IS THE RESULT
OF AN INSTRUMENT SURVEY.

SCALE 1"=10'
AUGUST 21, 2025
NORTH SHORE SURVEY CORPORATION
14 BROWN ST. - SALEM, MA
(978) 744-4800

A

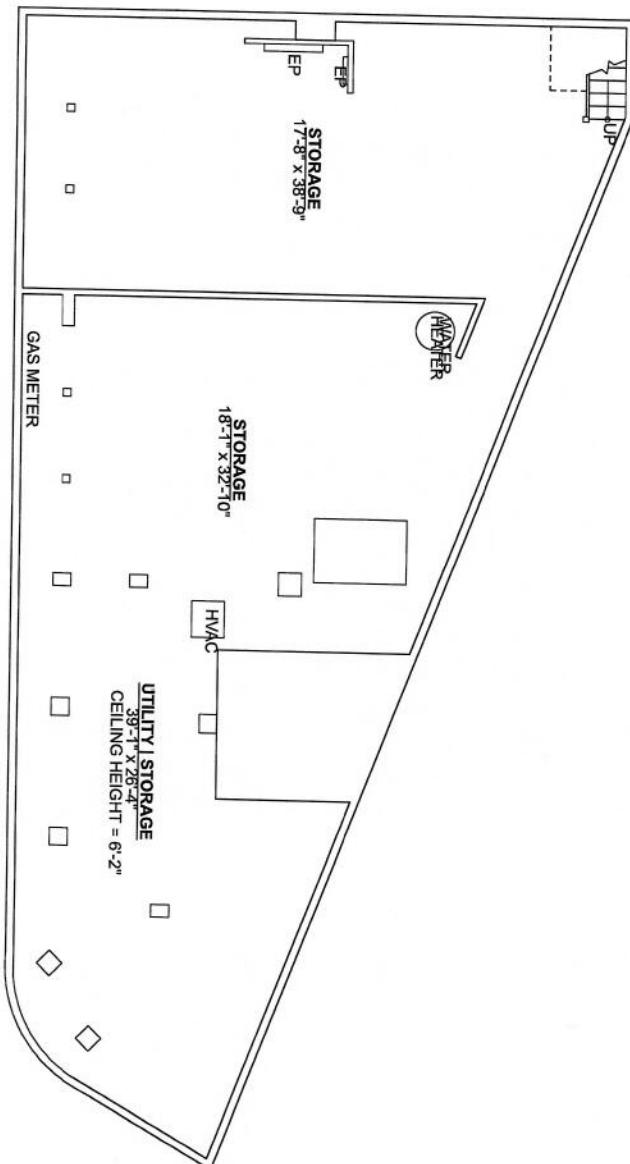
EXISTING BASEMENT PLAN - (NOT CHANGE)

SCALE: 1/8" = 1'-0"



BASEMENT PLAN

Ceiling Height = 7'-2"



ZONING DRAWINGS
SEPT 22, 2025

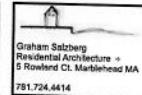
A0.0

BASEMENT PLAN (NO CHANGE)

Job No 2021-03 Scale AS NOTED Date 09/22/2025

**RENOVATIONS TO:
PLEASANT ST. CONDOS**

1-7 PLEASANT ST MARBLEHEAD MA 01945



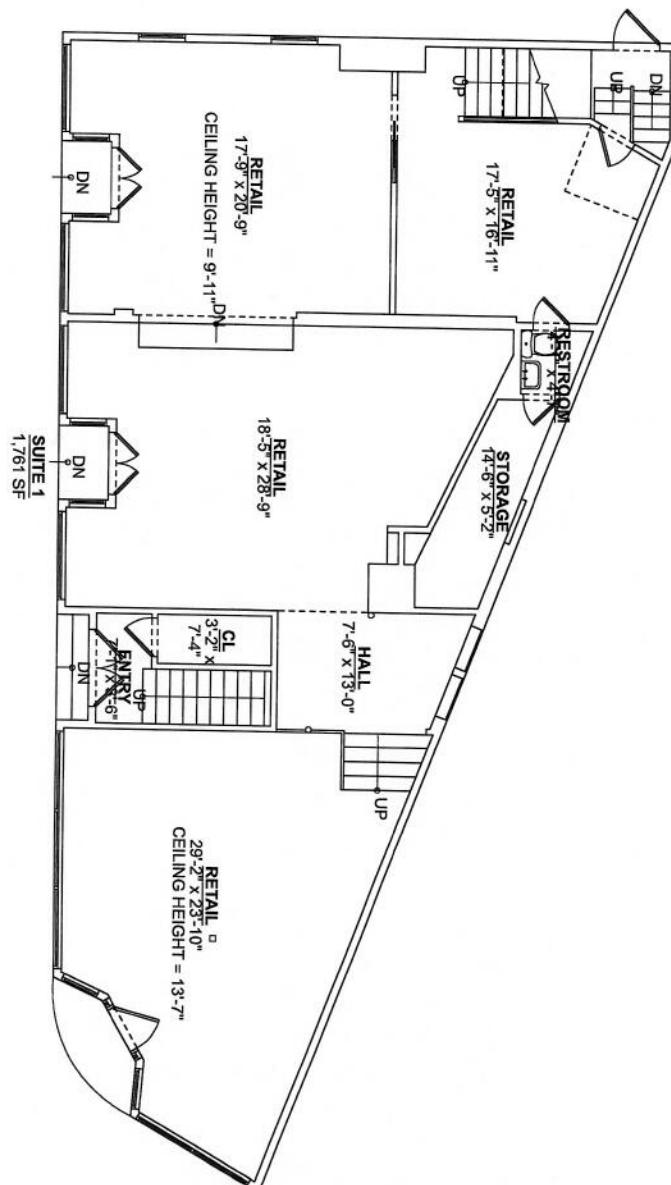
A

EXISTING FIRST FLOOR PLAN - (NO CHANGE)

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN



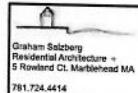
ZONING DRAWINGS
SEPT 22, 2025

FIRST FLOOR PLAN (NO CHANGE)

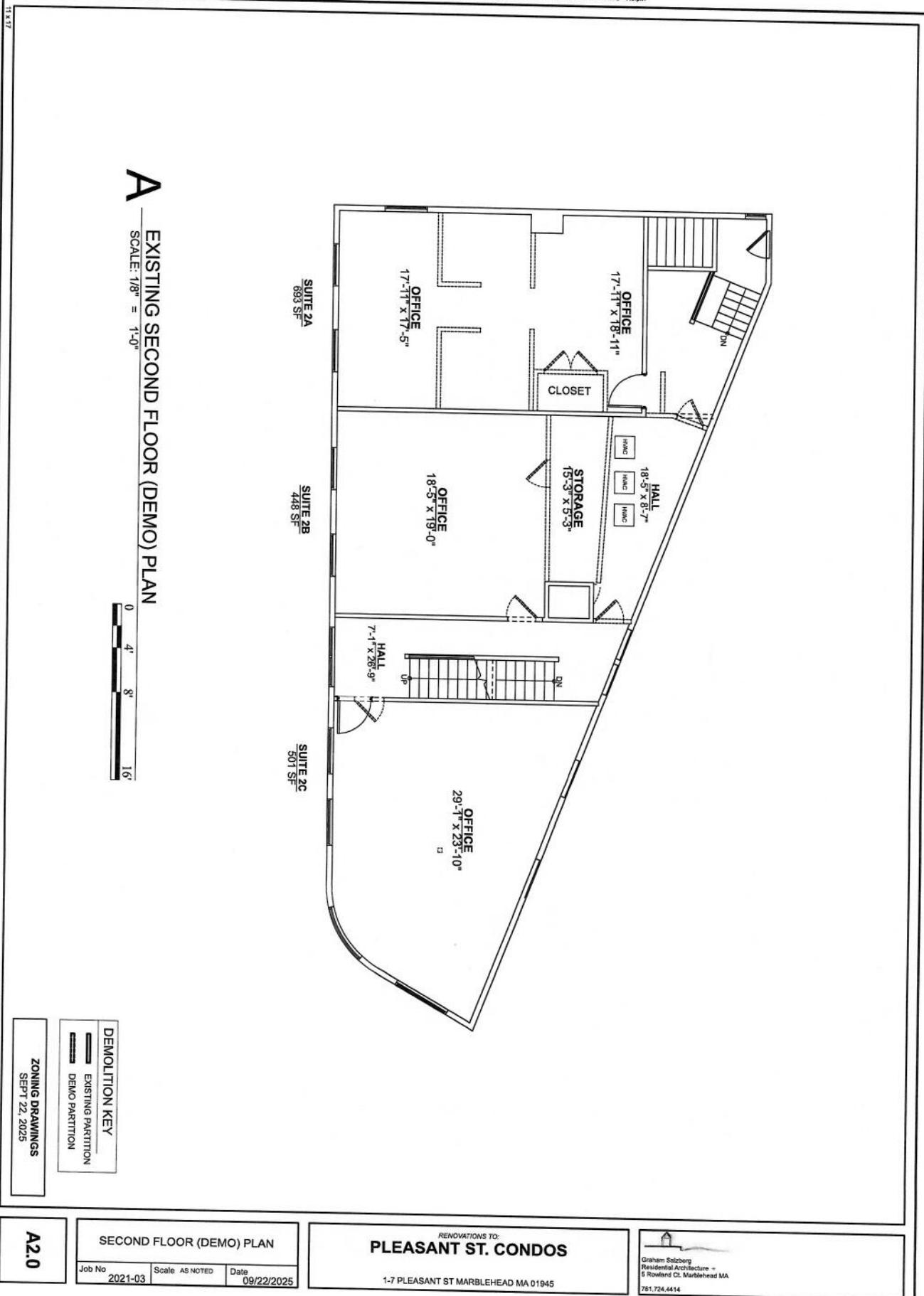
Job No 2021-03	Scale AS NOTED	Date 09/22/2025
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RENOVATIONS TO:
PLEASANT ST. CONDOS

1-7 PLEASANT ST MARBLEHEAD MA 01945



A1.0



112

A — **SECOND FLOOR PLAN - PROPOSED**
SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN - PROPOSED

SCALE: 1/8" = 1'-0"

0 4' 8' 16'

SECOND FLOOR PLAN

Ceiling Height = 12'-3"

SUITE 2A
1 BR STUDIO
+/- 495 SF

SUITE 2B
1 BR STUDIO
+/- 435 SF

SUITE 2C
OFFICE
+/- 487 SF

LIVING/KITCHEN
15'-6" x 17'-0"

LIVING/KITCHEN
14'-8" x 15'-0"

HALL
18'-5" x 8'-7"

HALL
7'-1" x 28'-9"

BEDROOM 1
10'-6" x 12'-0"

BEDROOM 1
10'-6" x 10'-0"

CLOSET/ PANTRY

OPEN OFFICE

BATH

HMC

HAC

WMC

DN

Up

F

DN

DN

SUITE 2C
OFFICE
+/- 487 SF

**SUITE 2A
1 BR STUDIO
+/- 495 SF**

1

**SUITE 2B
1 BR STUDIOS
+/- 435 SF**

6

SUITE 2C
OFFICE
+/- 487 SF

WALL LEGEND

— EXISTING PARTITION

— NEW PARTITION

ZONING DRAWINGS
SEPT 22, 2025

**ZONING DRAWINGS
SEPT 22, 2025**

SECOND FLOOR - PROPOSED

Job No 2021-03	Scale AS NOTED	Date 09/22/2025
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**RENOVATIONS TO:
PLEASANT ST. CONDOS**

1-7 PLEASANT ST MARBLEHEAD MA 01945

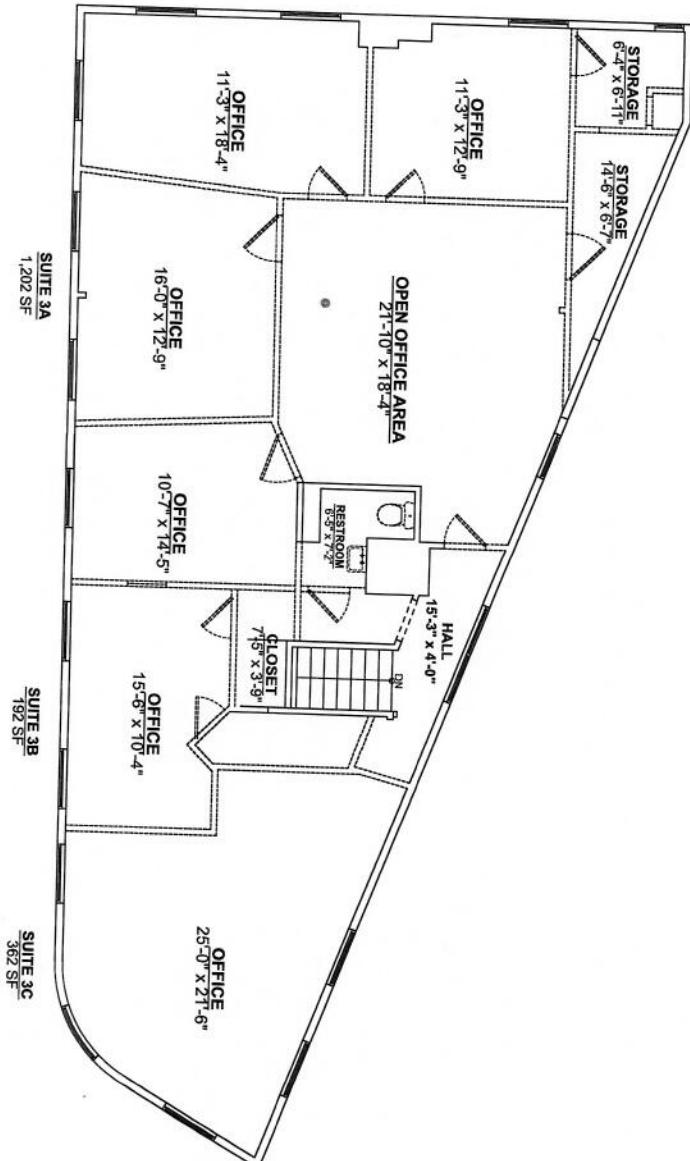
A EXISTING THIRD FLOOR (DEMO) PLAN

SCALE: 1/8" = 1'-0"



THIRD FLOOR PLAN

Ceiling Height = 11'-1"



ZONING DRAWINGS
SEPT 22, 2025

A3.0

THIRD FLOOR (DEMO) PLAN

Job No 2021-03 Scale AS NOTED Date 09/22/2025

PLEASANT ST. CONDOS

1-7 PLEASANT ST MARBLEHEAD MA 01945

RENOVATIONS TO:
Graham Salzberg
Residential Architecture +
5 Rowland Ct. Marblehead MA
781.724.4414

