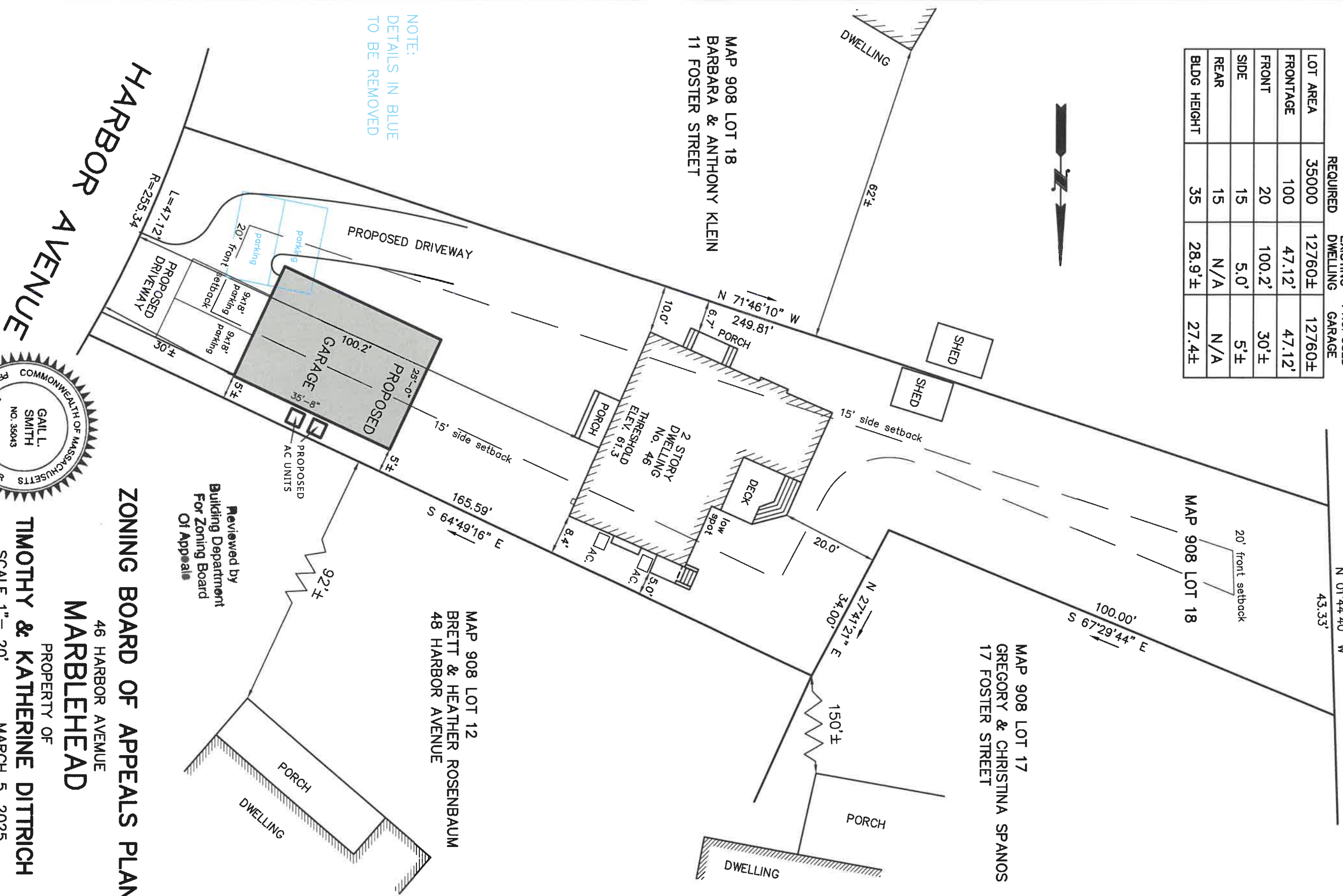


FOSTER STREET

	REQUIRED	EXISTING DWELLING	PROPOSED GARAGE
LOT AREA	35000	12760±	12760±
FRONTAGE	100	47.12'	47.12'
FRONT	20	100.2'	30'±
SIDE	15	5.0'	5'±
REAR	15	N/A	N/A
BLDG HEIGHT	35	28.9'±	27.4'±



NOTE:
DETAILS IN BLUE
TO BE REMOVED

An aerial photograph showing a street intersection. A road labeled 'HARBOR AVENUE' runs diagonally from the bottom left towards the top right. A road labeled 'DRIVEWAY' branches off to the right from Harbor Avenue. A sign above the driveway entrance reads 'CLOSED' and 'N=255.34'. The area is mostly paved with some grassy patches.

ZONING BOARD OF APPEALS PLAN

MARBLEHEAD

PROPERTY OF

SCALE 1" = 20' MARCH 5, 2025

NORTH SHORE SURVEY CORPORATION

14 BROWN ST. - SALEM, MA

(978) 744-4800

2696

THIS PLAN IS THE RESULT
OF AN INSTRUMENT SURVEY.



David J. Davis



TUCKER
ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546
Tucker Architecture and Landscape LLC

THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND
CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE
PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED
BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN
WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE
WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

Drawing Index:

CVR Cover

Main House

X2

Existing Basement Floor Plan

X3

Existing First Floor Plan

X4

Existing Second Floor Plan

X5

Existing Attic Plan

X6

Existing Roof Plan

X7

Existing Building Elevations

X8

Existing Building Elevations

Proposed Garage

1g

Proposed Garage Floor Plans

2g

Proposed Garage Elevations

Reviewed by
Building Department
For Zoning Board
Of Appeals

REVISION DATE:
2025 04 25 FOR APPROVALS

NOTE: Not for Construction unless
otherwise stamped by Architect

Dittich Residence
46 Harbor Avenue
Marblehead, MA

Cover

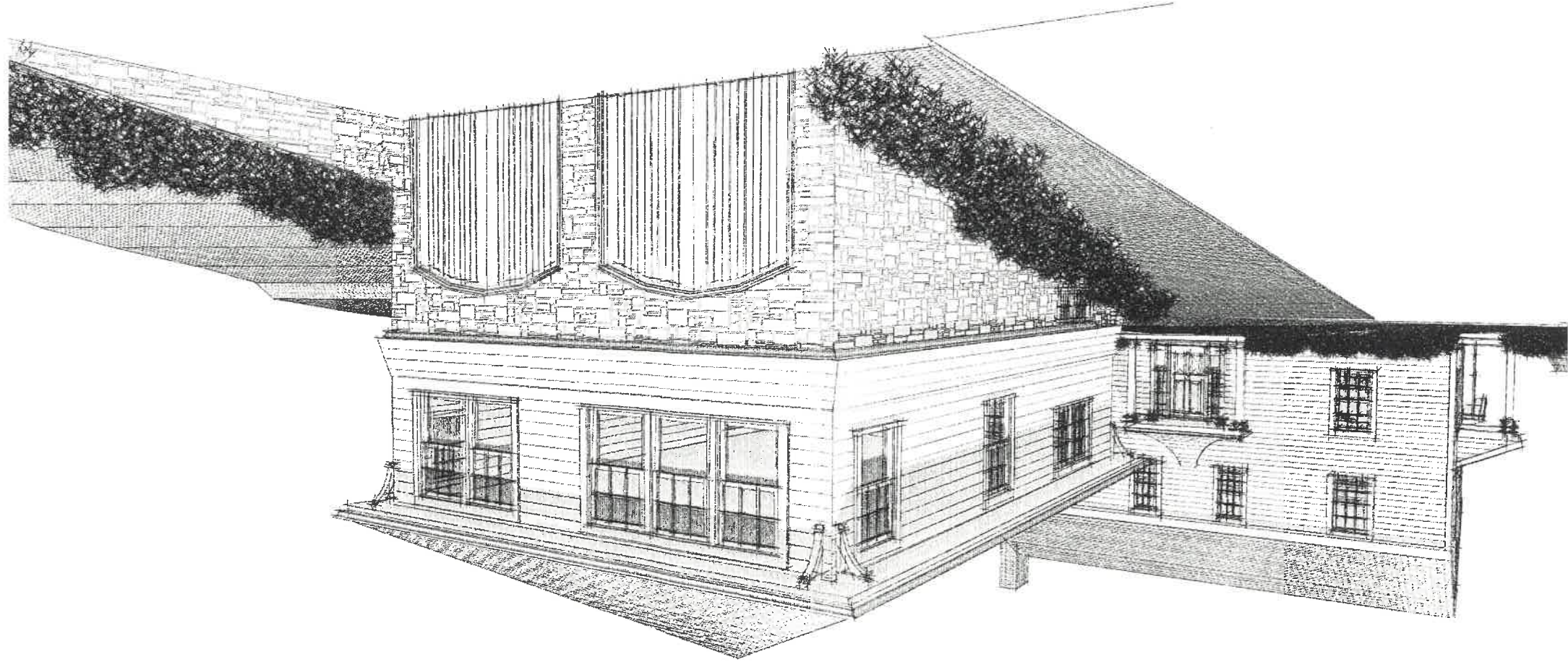
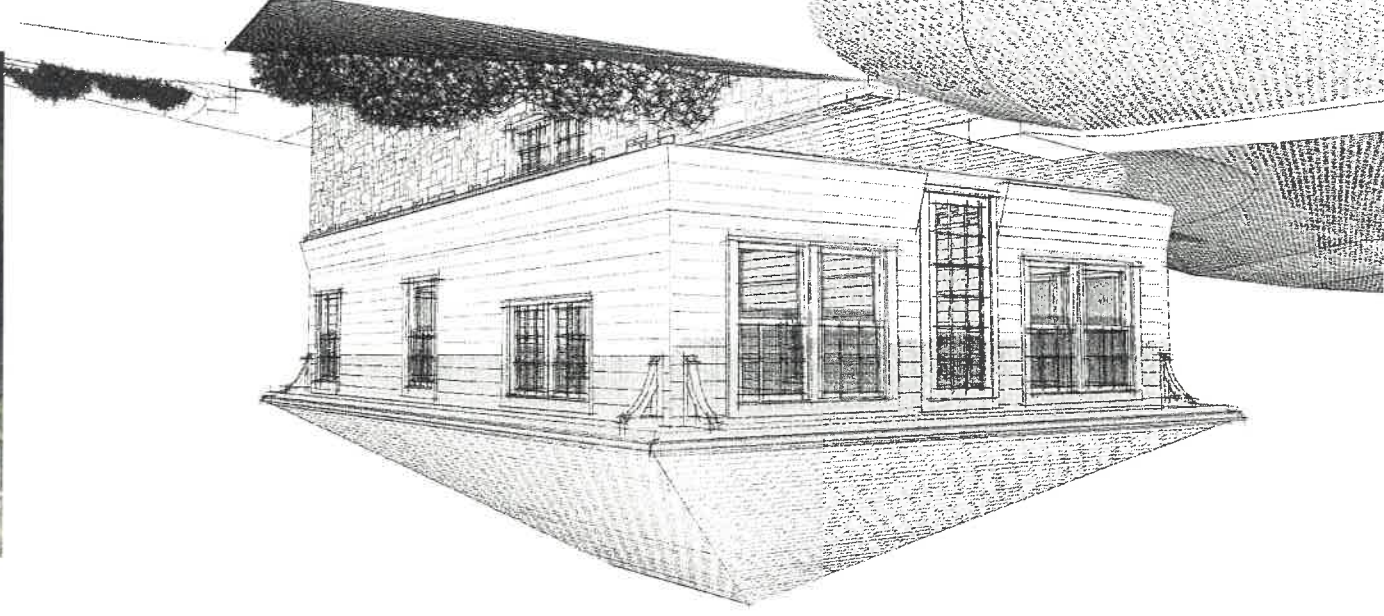
CVR

PAGE NO.

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

0 1' 2' 3'

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY





Reviewed by
Building Department
For Zoning Board
Of Appeals

PLAN WALL LEGEND

	Proposed Slnd Walls
	Existing Walls to Remain
	Existing Walls to be Removed
	Proposed Concrete Walls
	Points of Egress to Exterior

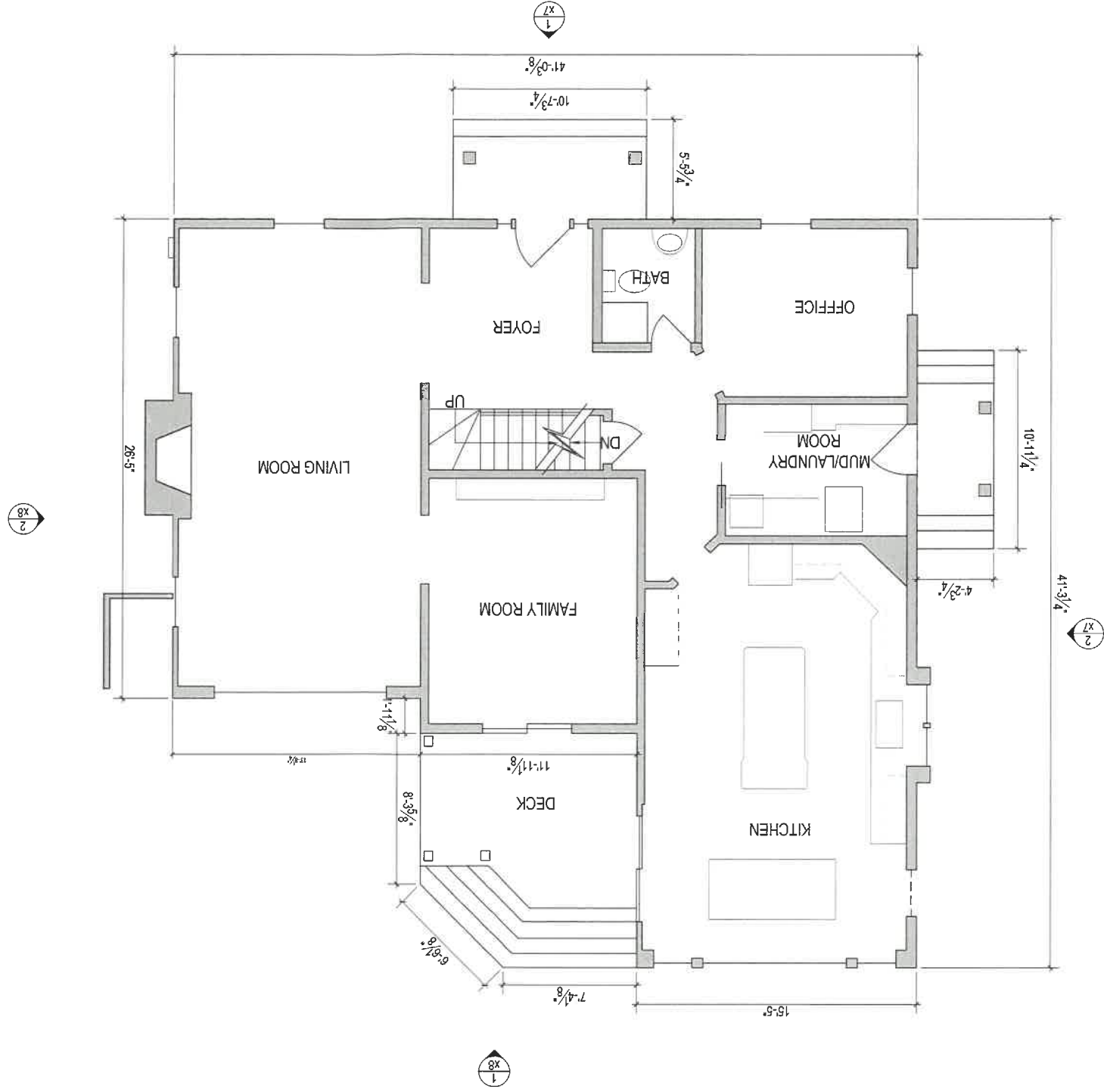
Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. There are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-field coordination with sub-contractors. These drawings are intended for planning purposes only.

THIS DOCUMENT, ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546
Tucker Architecture and Landscape LLC

TUCKER
ARCHITECTURE



Reviewed by
Building Department
For Zoning Board
Of Appeals

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



X3

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

Existing Conditions
First Floor Plan

Dittrich Residence
46 Harbor Avenue
Marblehead, MA

NOTE: Not for Construction unless otherwise stamped by Architect

REVISION DATE: 2025 04 25 FOR APPROVALS

PLAN WALL LEGEND

	Proposed Shud Walls
	Existing Walls to Remain
	Existing Walls to be Removed
	Proposed Concrete Walls
	Points of Egress to Exterior

Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the contractor prior to construction, fabrication of elements or any in-field coordination with sub contractors. These drawings are intended for planning purposes only.

THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT. OWNER, DESIGNER, OR PURPOSER WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

Tucker Architecture and Landscape LLC

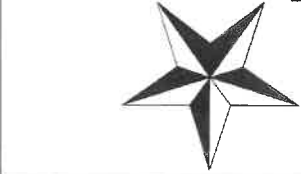
(781) 631-3546

www.TuckerArch.com

56 Atlantic Avenue, Marblehead, MA

ARCHITECTURE • LANDSCAPE • INTERIORS

TUCKER
ARCHITECTURE



TUCKER
ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546
Tucker Architecture and Landscape LLC

THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-depth coordination with sub contractors. These drawings are intended for planning purposes only.

PLAN WALL LEGEND

- Proposed Stud Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Egress to Exterior

REVISION DATE:
2025 04 25 FOR APPROVALS

NOTE: Not for Construction unless
otherwise stamped by Architect

Dittich Residence
46 Harbor Avenue
Marblehead, MA

Existing Conditions
Second Floor Plan

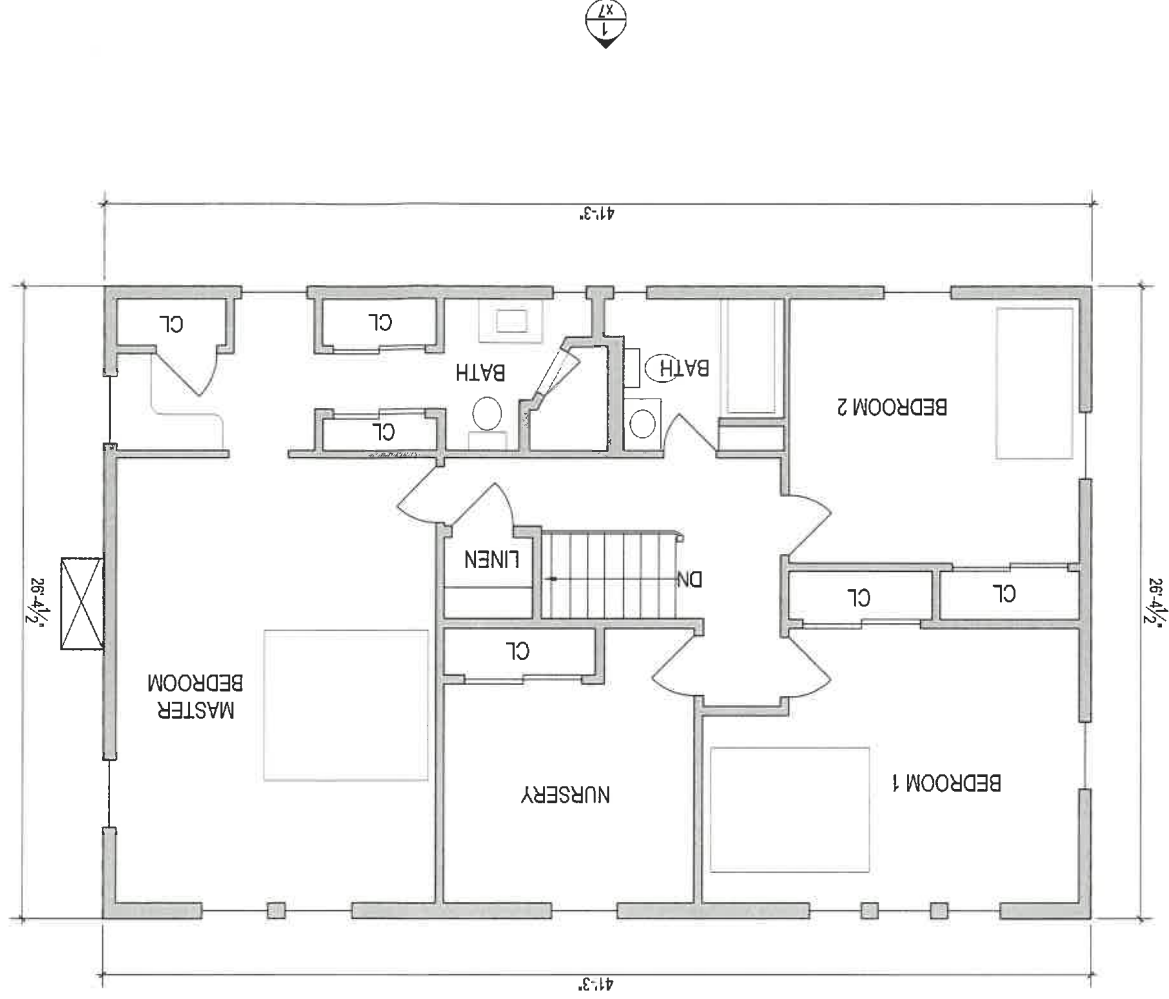
PAGE NO.
X4

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

Reviewed by
Building Department
For Zoning Board
Of Appeals

X8
2



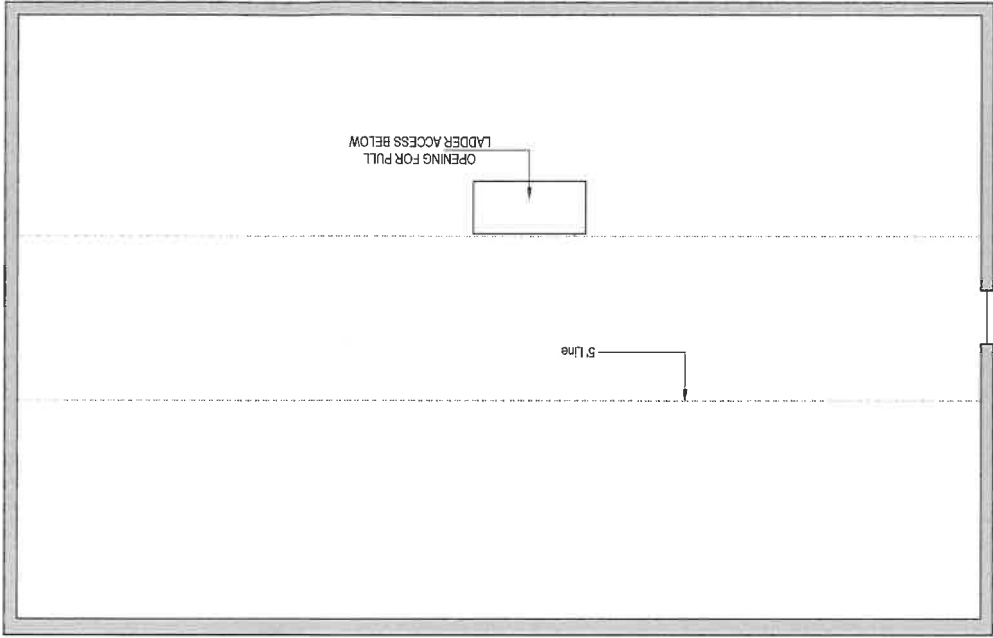
X7
2

X8
1

X7
1

Existing Second Floor Plan - Main House
Scale: 3/8"=1'-0"

1



1

X8

2

X8

Reviewed by
Building Department
For Zoning Board
Of Appeals

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

ARCHITECTURE

TUCKER

56 Atlantic Avenue, Marblehead, MA

www.TuckerArch.com

(781) 631-3546

Tucker Architecture and Landscape LLC

THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-depth coordination with sub contractors. These drawings are intended for planning purposes only.

REVISION DATE:
2025 04 25 FOR APPROVALS

NOTE: Not for Construction unless
otherwise stamped by Architect

Attic Plan

Existing Conditions

Dittrich Residence
46 Harbor Avenue
Marblehead, MA

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

PAGE NO. X5



DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

Reviewed by
Building Department
For Zoning Board
Of Appeals

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

Dittrich Residence
46 Harbor Avenue
Marblehead, MA
Existing
Building Elevations

NOTE: Not for Construction unless otherwise stamped by Architect

REVISION DATE: 2025 04 25 FOR APPROVALS

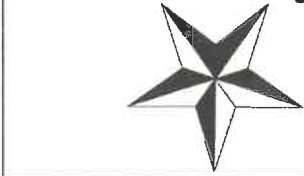
Note: These Existing Conditions Drawings represent a relative depiction of conditions in the field. These are not an exhaustive documentation of real conditions in the field, nor do they guarantee 100% accuracy. All aspects of these drawings should be verified by the Contractor prior to construction, fabrication of elements or any in-field coordination with sub contractors. These drawings are intended for planning purposes only.

THIS DOCUMENT IS THE PROPERTY OF LANDSCAPE ARCHITECTURE AND LANDSCAPE DESIGN, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JOFFE TUCKER.

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546
Tucker Architecture and Landscape LLC





TUCKER
ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546
Tucker Architecture and Landscape LLC

THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.



REVISION DATE:
2025 04 25 FOR APPROVALS
NOTE: Not for Construction unless
otherwise stamped by Architect

Dittrich Residence
46 Harbor Avenue
Marblehead, MA
Existing
Building Elevations

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE
PAGE NO. x8

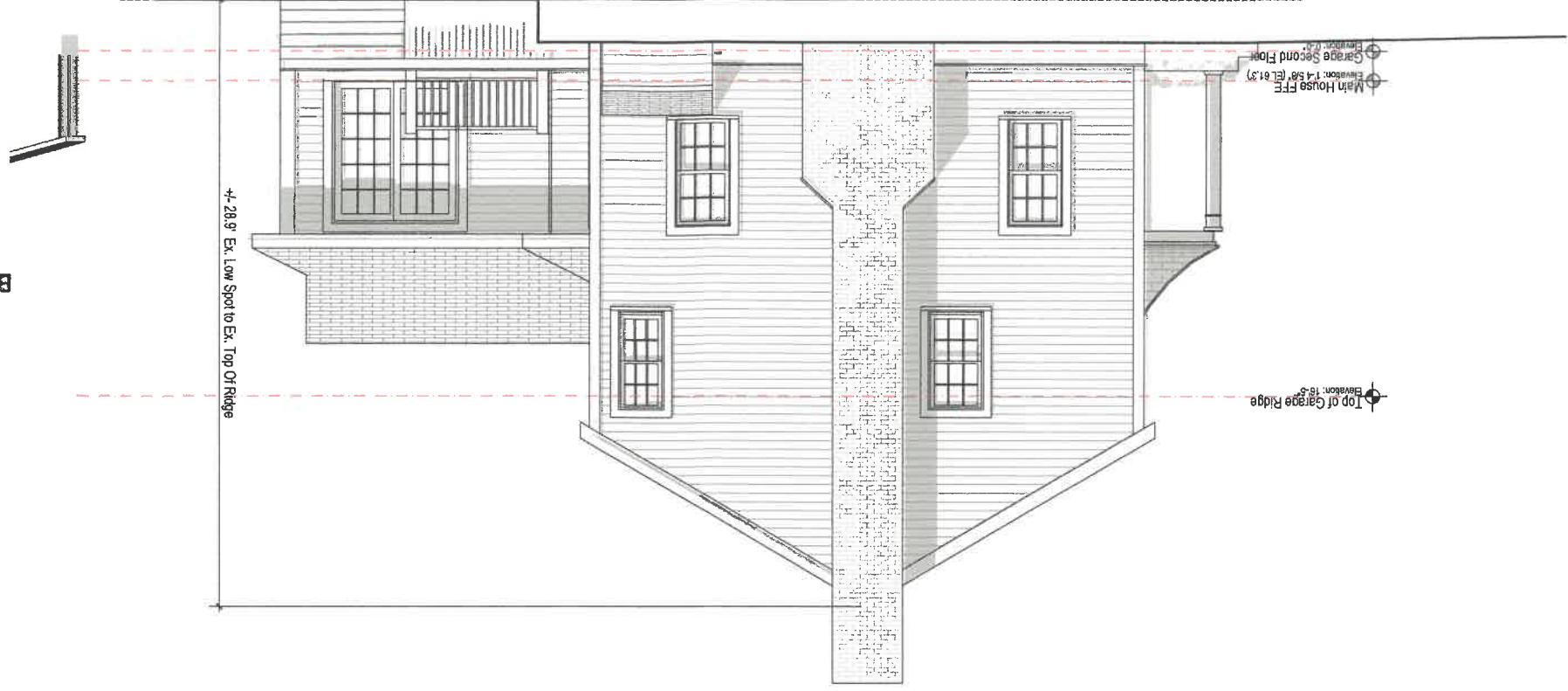
DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

Reviewed by
Building Department
For Zoning Board
Of Appeals



1 Existing Rear Elevation

Scale: 1/4"=1'-0"



2 Existing Side Elevation

Scale: 1/4"=1'-0"

Garage First Floor
Elevation: 10'-8" (EL. 49)

Main House FFE
Elevation: 1-4.05' (EL. 61.33)

Top of Garage Ridge
Elevation: 19'-5"

Garage First Floor
Elevation: 10'-8" (EL. 49)

Main House FFE
Elevation: 1-4.05' (EL. 61.33)

Top of Garage Ridge
Elevation: 19'-5"



TUCKER
ARCHITECTURE

ARCHITECTURE • LANDSCAPE • INTERIORS

56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546
Tucker Architecture and Landscape LLC

THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

PLAN WALL LEGEND

- Proposed Stud Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Egress to Exterior

REVISION DATE:
2025 04 25 FOR APPROVALS

NOTE: Not for Construction unless
otherwise stamped by Architect

Dittrich Residence
46 Harbor Avenue
Marblehead, MA
Proposed Garage First &
Second Floor Plan and Roof Plan

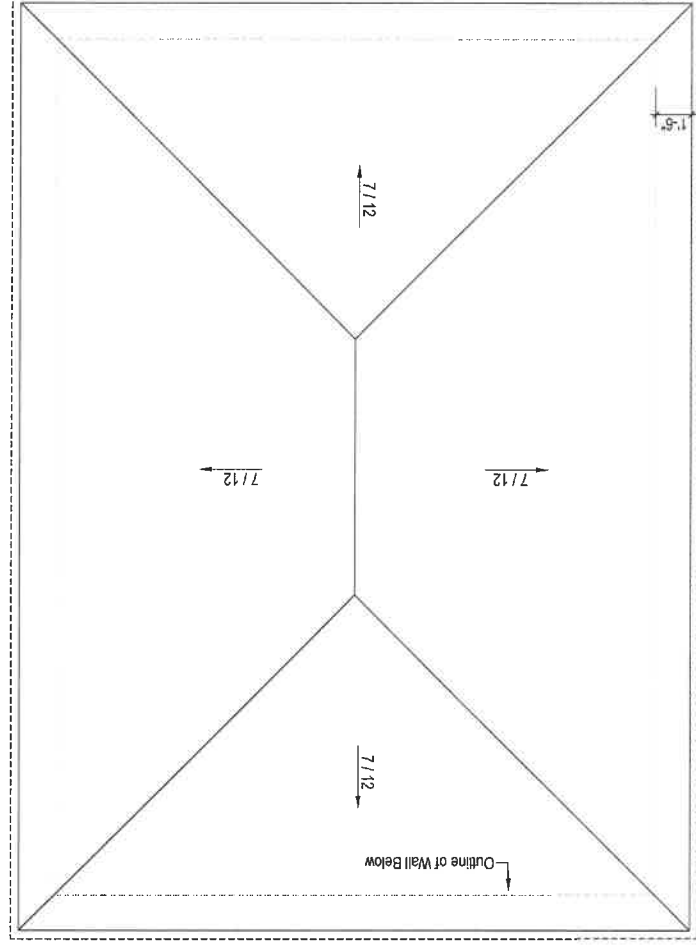
19

PAGE NO.

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

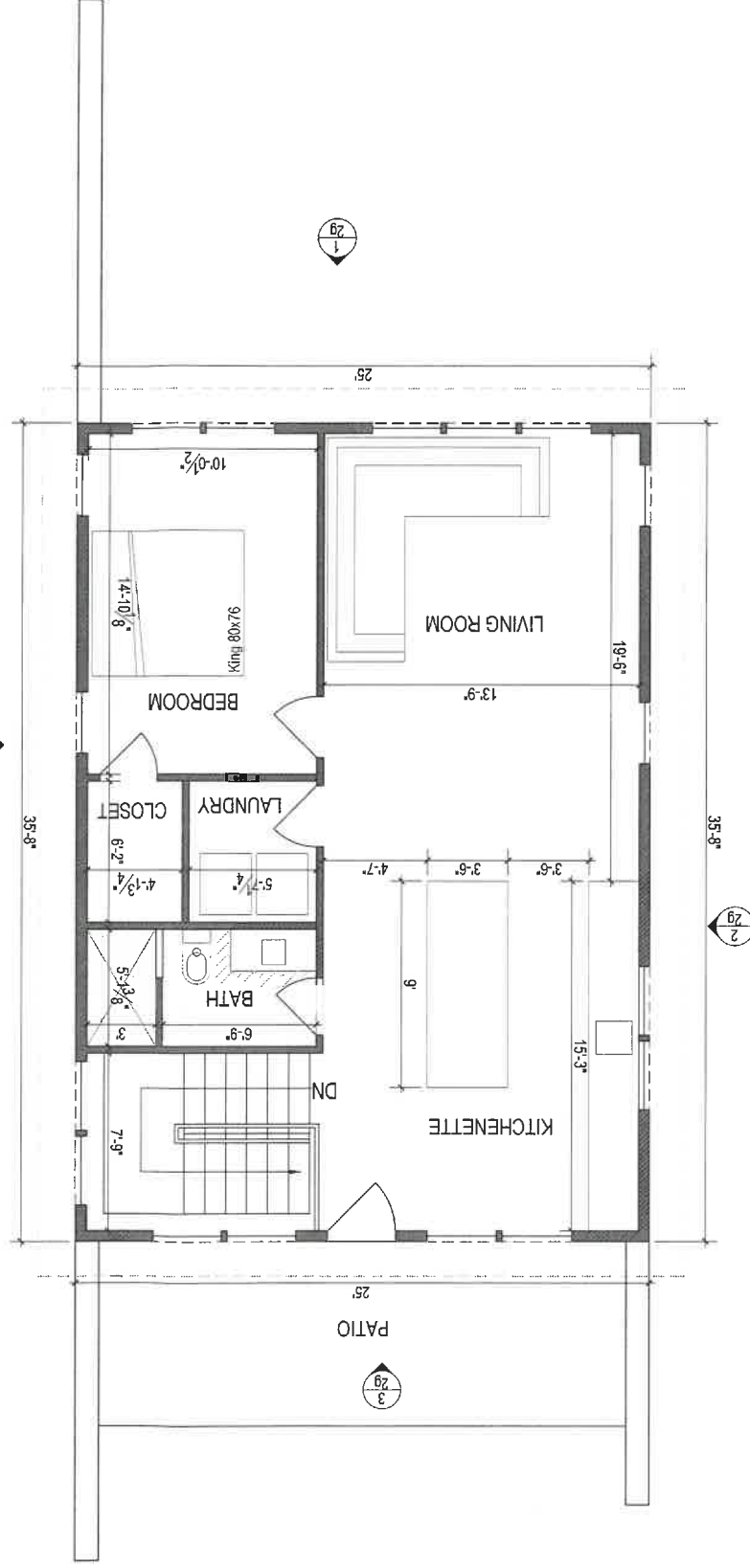
0 1' 2' 3'

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



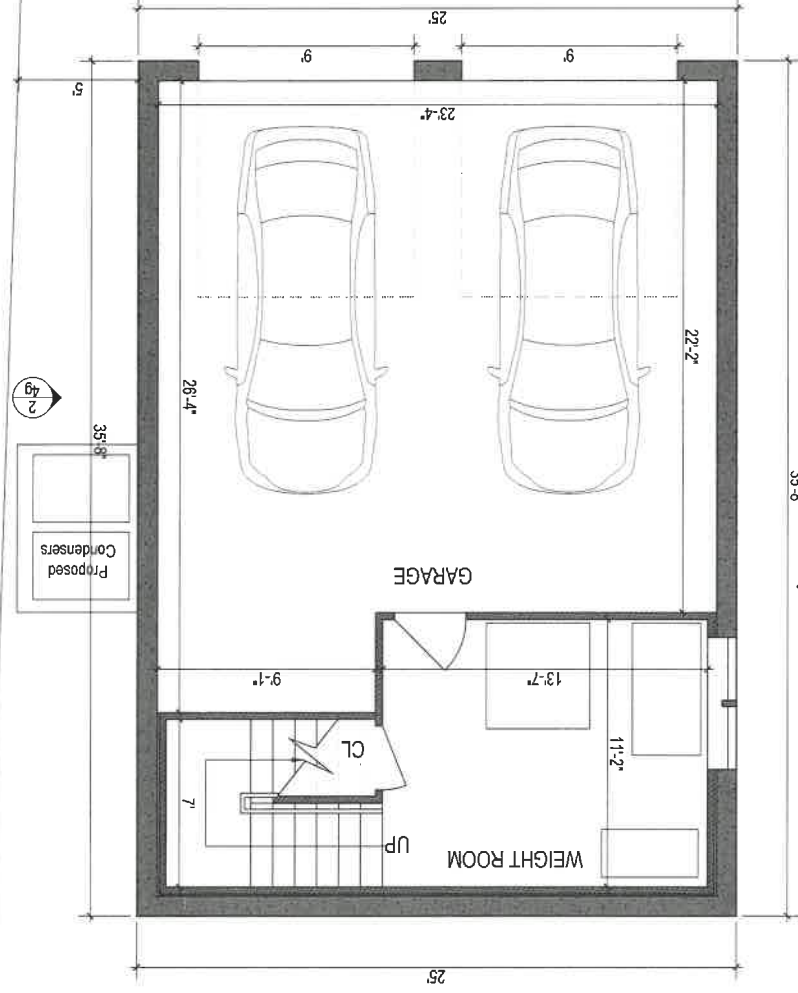
3 Proposed Garage Roof Plan

Scale: 1/4"=1'-0"



2 Proposed Garage Second Floor Plan

Scale: 1/4"=1'-0"

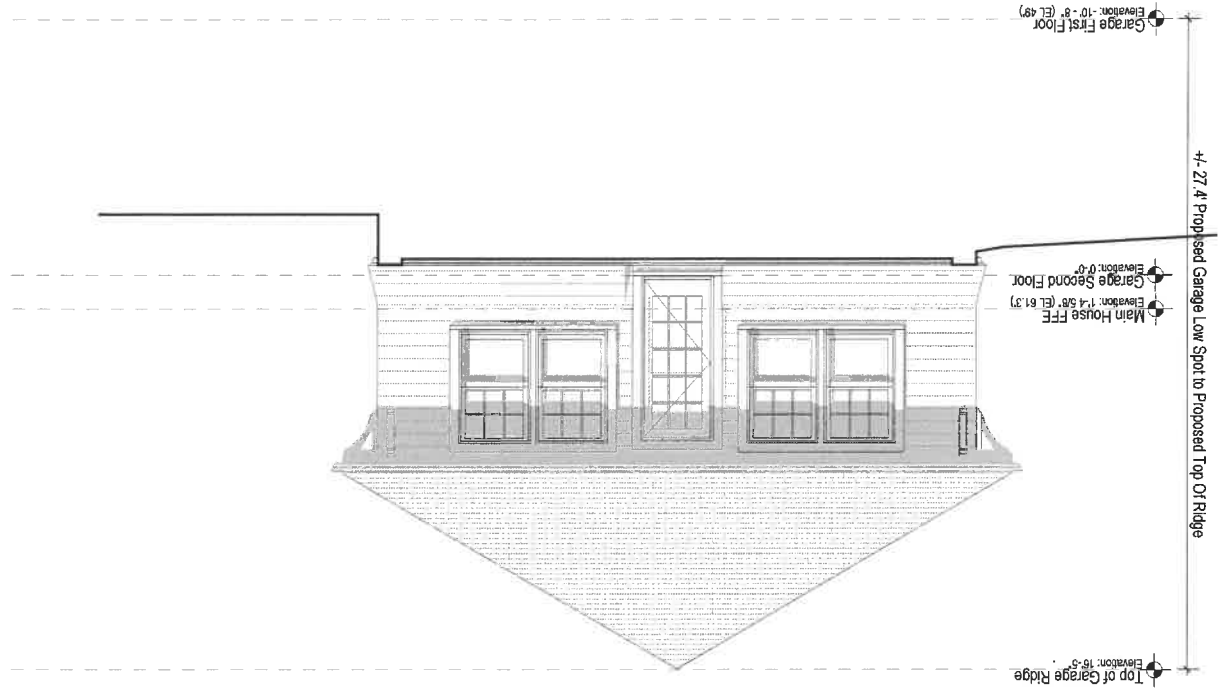


1 Proposed Garage First Floor Plan

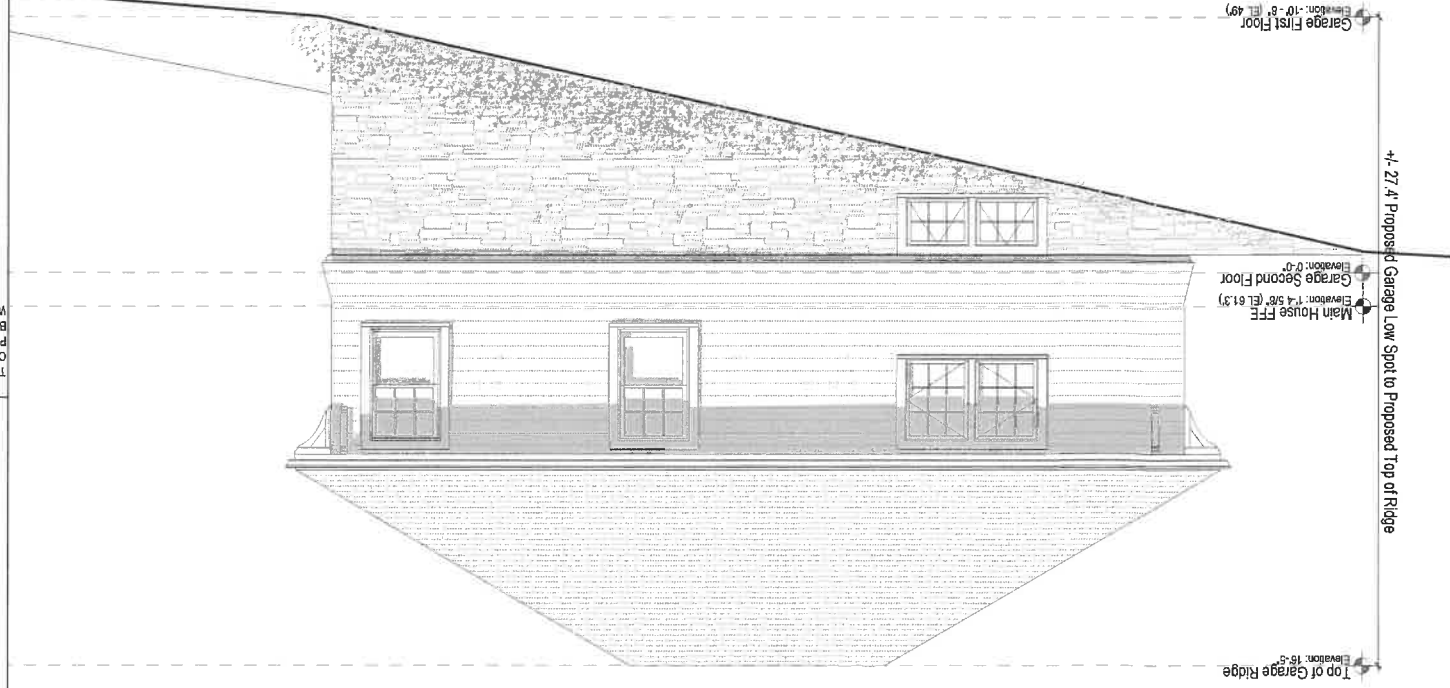
Scale: 1/4"=1'-0"



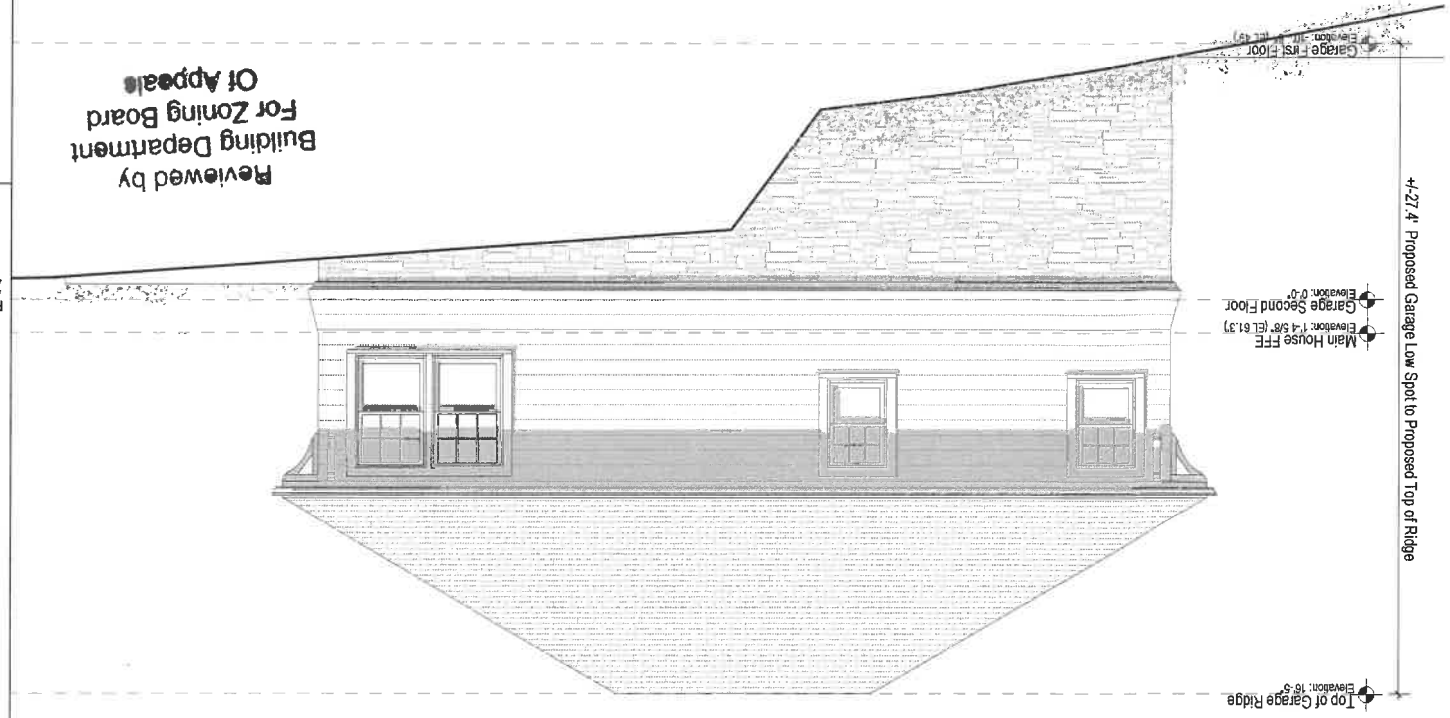
3 Rear Elevation
Scale: 1/4"=1'-0"



2 Left Elevation
Scale: 1/4"=1'-0"



4 Right Elevation
Scale: 1/4"=1'-0"



Reviewed by
Building Department
For Zoning Board
Of Appeals

TUCKER
ARCHITECTURE
ARCHITECTURE • LANDSCAPE • INTERIORS
56 Atlantic Avenue, Marblehead, MA
www.TuckerArch.com
(781) 631-3546
Tucker Architecture and Landscape LLC

THIS DOCUMENT ALONG WITH THE DESIGN IDEAS AND ILLUSTRATIONS AND CALCULATIONS AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF TUCKER ARCHITECTURE AND LANDSCAPE, LLC AND PROTECTED BY COPYRIGHT LAWS. THE ILLUSTRATIONS HEREIN ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT, OWNER, DESIGNER, OR PURPOSE WITHOUT THE EXPRESS WRITTEN AUTHORIZATION FROM JEFF TUCKER.

REVISION DATE: 2025 04 25 FOR APPROVALS

NOTE: Not for Construction unless
otherwise stamped by Architect

Dittrich Residence
46 Harbor Avenue
Marblehead, MA

Garage Building Elevations