

lot 87 PC15082

Title 8938

MARBLEHEAD PLANNING BOARD
ACCESSORY DWELLING UNIT (ADU) APPLICATION

RECEIVED
MAY 9 2024
MAY 9 2024

PART I:

Name(s): Judith + Richard D'ane Address: 4 Edgewood Rd.

Telephone number: 978-578-5175 E-mail: judydane@comcast.net

Do you reside at this address? YES NO

Will you be residing in the primary residence or the Accessory Dwelling Unit? YES NO

Do you possess title to this property (or have a P&S)? YES NO

Date of Deed: _____ Book #: _____ Page #: _____ or copy of signed P&S

Is this a single-family residence? YES NO

The accessory dwelling unit may not be sold or transferred separate and apart from the principal dwelling to which it is an accessory use. YES NO

Note: All the answers above must be YES to apply

PART II: DESCRIPTION

- (1) The proposed Accessory Dwelling Unit be within or attached to the principal residence, or within or attached to or a new detached structure. Principal Residence Detached Structure
- (2) Are all stairways to the accessory dwelling unit above the first floor shall be located on the rear or side of the dwelling. YES NO N/A _____
- (3) How many bedrooms will the ADU have? 1
- (4) Is the size of the Accessory Dwelling Unit 1000 sf or less? YES NO
- (5) What is the square footage of the existing dwelling? 1928
- (6) What is the total square footage of the proposed Accessory Dwelling Unit? 844
- (7) What would be the total square footage of the existing house and new Accessory Dwelling Unit combined? 1928
- (8) What is the calculated percentage of the house to be used as the Accessory Dwelling (calculate using the answer to #5 divided by the answer to #6)? 450% about 40%
- (9) The accessory dwelling unit does not exceed 50% of the gross floor area of the principal dwelling
YES NO it does not
- (10) Will at least one off-street parking space be provided for the accessory dwelling?
YES NO

PART III: REQUIRED ATTACHMENTS

- (1) A certified plot plan of the proposed accessory dwelling unit, the principal dwelling where it is to be located is attached YES NO
- (2) Floor plans and elevations. YES NO

Note: Plans attached plans shall be drawn to scale and identify the existing structure and proposed modifications to create the accessory dwelling unit. *DN file*

- (3) A Narrative Description of the units including number of bedrooms, size and layout and addressing the following:

- a. Architectural features and design are compatible with the existing neighborhood.
- b. Vehicular and pedestrian movement is safe and convenient (parking is provided or adequate in neighborhood, curb cuts do not exceed allowed).
- c. Adverse effects on abutters are minimized (limited or no impact from the street; and privacy).

PART IV: FURTHER

By signing this application, I certify that I understand the following:

- (1) The principal dwelling and the accessory dwelling unit will remain in common or single ownership and shall not be severed in ownership.
- (2) Short-term rentals, as defined (less than 90 days), are prohibited in both the accessory and principal dwelling units and I will not rent to a tenant for less than 90-day lease or arrangement.
- (3) When a structure, which has received a permit for an accessory dwelling unit, is sold, the new owner(s), if they wish to continue to exercise the Permit, must, within thirty (30) days of the sale, submit a notarized letter stating that they will occupy one of the dwelling units on the premises as their primary residence. This shall be part of the municipal lien certificate.

Applicant Signature:

Judith Doane Richard Doane

Applicant Name:

Judith Doane Richard Doane

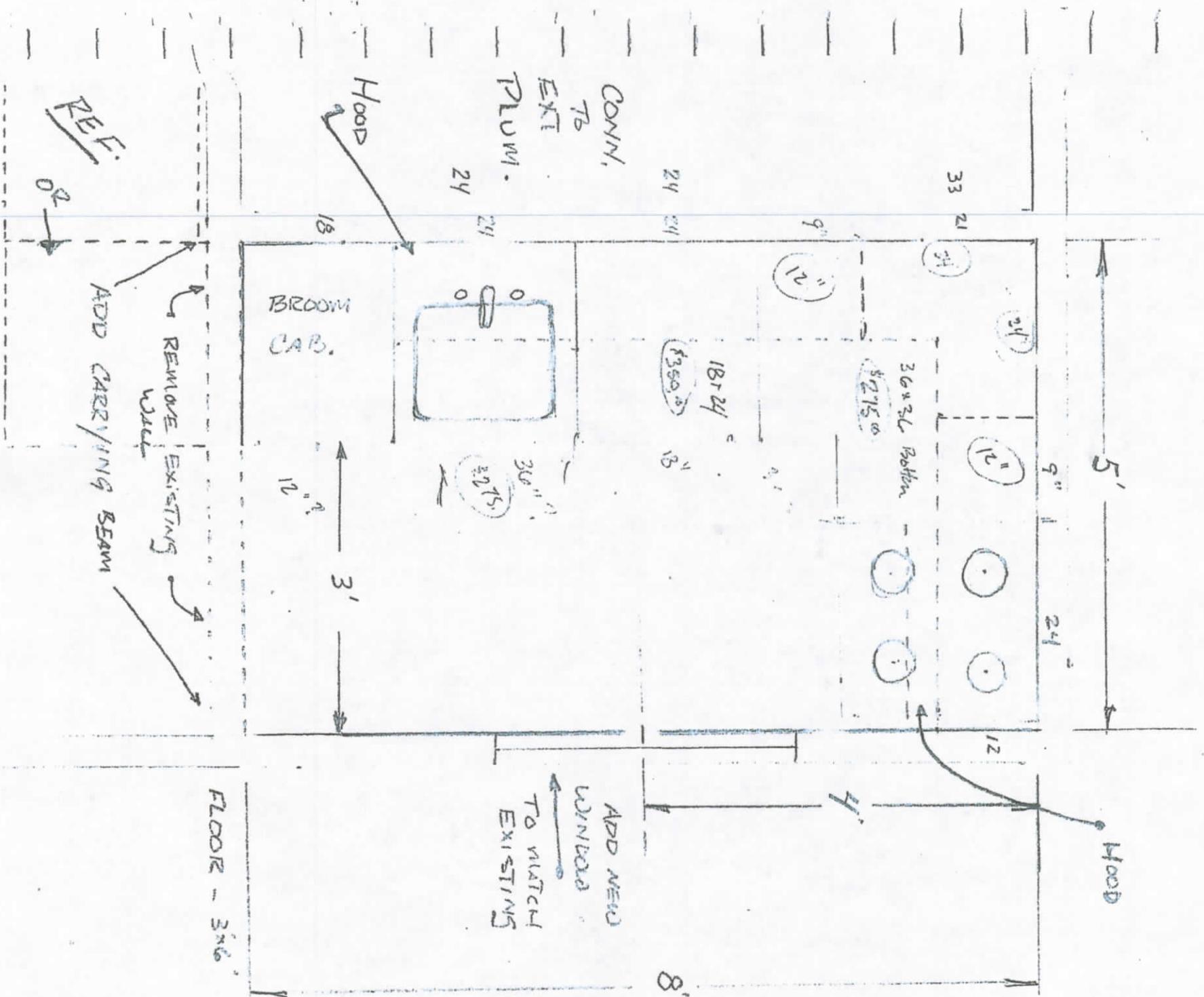
Date:

3/17/24

December 19, 2023 at 6:27 PM

JUDY'S Kitchen

- remove existing door to closet. Remove small partition wall to the left of closet door. Install carrying beam in frame to support new opening.
- Remove existing flooring, (carpeting)
- Cut out and expose plumbing from bathroom. Plumb new lines for kitchen sink from existing plumbing.
- Run new electrical line to new sub panel to supply kitchen, outlets, and other electrical appliances.
- Install new cabinetry on floor and wall.
- Install new countertop
- Install new flooring to be picked out from customer
- Cut out in frame new window in new kitchen area. To be finished to match existing windows.



SUBDIVISION PLAN OF LAND IN MARBLEHEAD
 Landmark Engineering & Surveying, Inc., Surveyors

14403Q

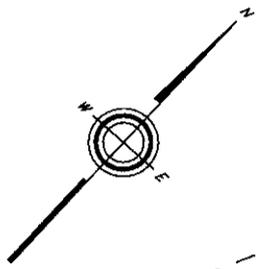
April 29, 2002

Essex South Registry District

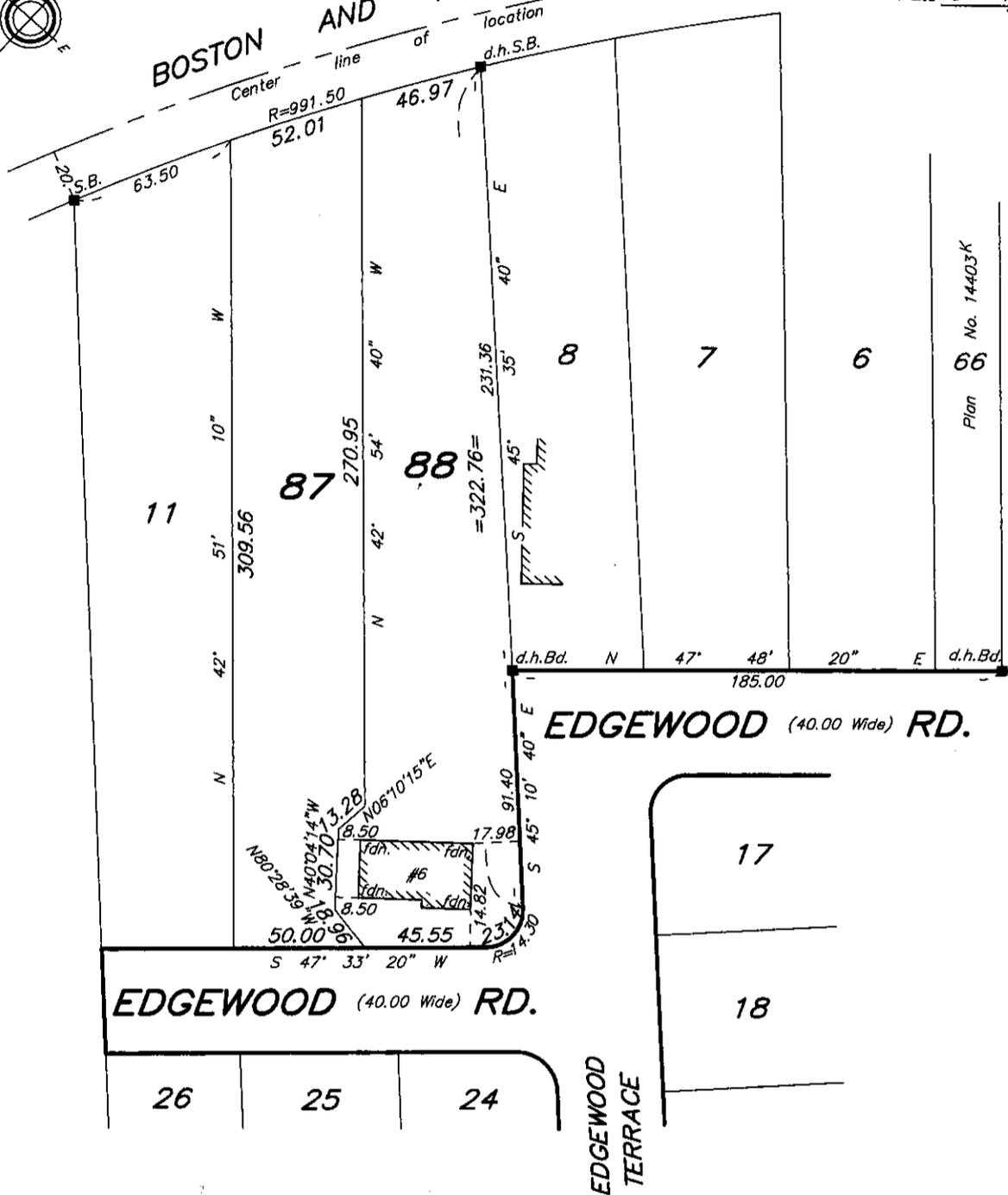
RECEIVED AND FILED

With Certificate No. 75082

Date Oct. 1, 2002



BOSTON AND MAINE RAILROAD



Plan No. 14403K 66

Subdivision of Lots 9 and 10
 Shown on Plan 14403^B
 Filed with Cert. of Title No. 8938
 South Registry District of Essex County

Separate certificates of title may be issued for land
 shown hereon as Lots 87 and 88
 By the Court.

Charles M. [Signature]
 Recorder

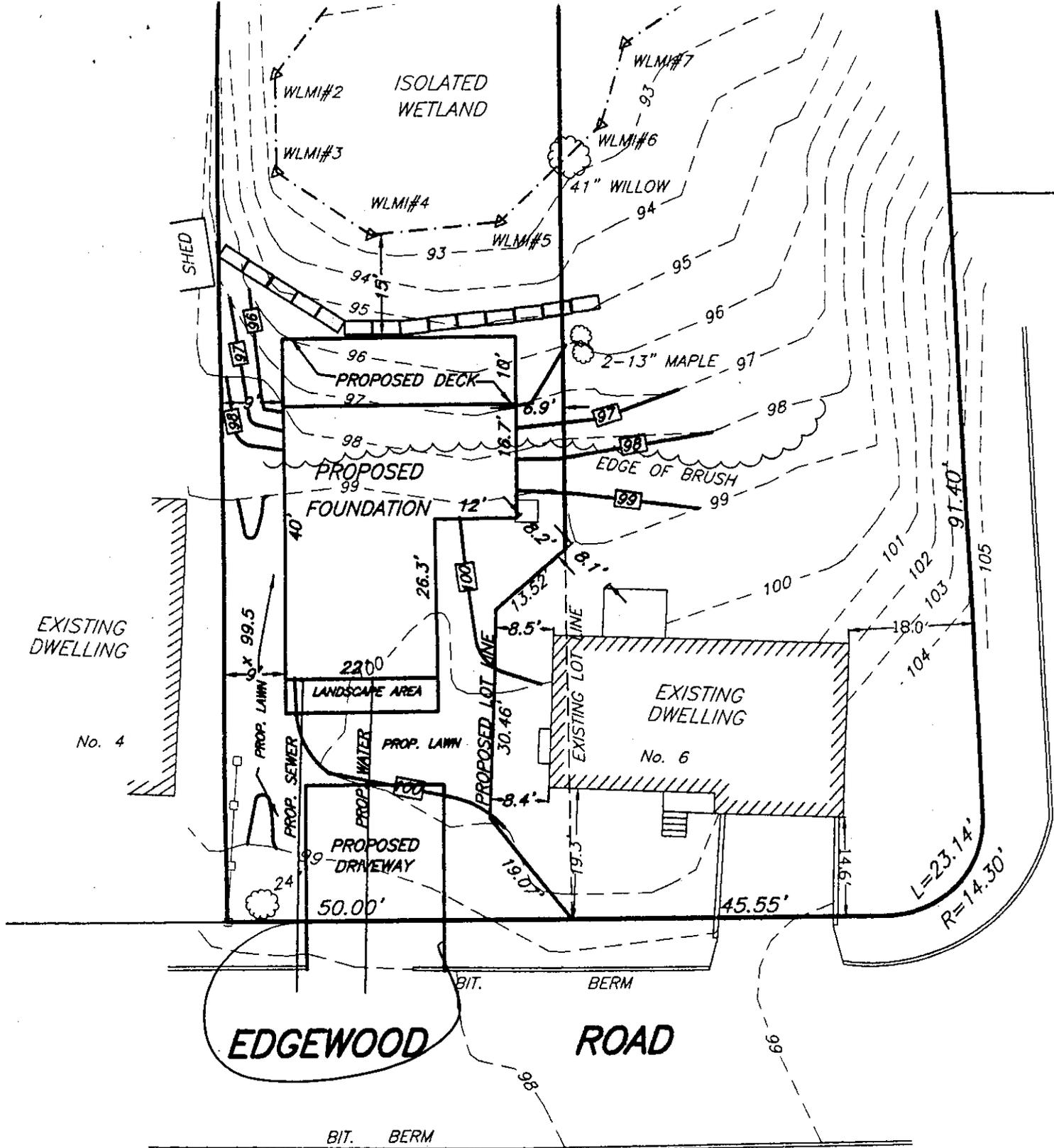
JUNE 13, 2002

RSG-05K2

Abutters are shown as
 on original decree plan.

Copy of part of plan
 filed in
LAND REGISTRATION OFFICE
 JUNE 13, 2002

Scale of this plan 50 feet to an inch
 G.T. Capelionis, Deputy Engineer for Court



3 Car Parking

COVER SHEET

APPROVED
SEP 19 2002

KEISER INDUSTRIES INC.

P.O. BOX 9000
 OXFORD, ME 04270
 TEL: (207) 539-8883
 FAX: (207) 539-4446

DWG NO.: KIM 2355
 LAYER NAME: COVER SHEET

STYLE: 22'x40' CUSTOM COLONIAL

DEALER: C.M.P.L.

CUSTOMER: JUDY DOANE

DATE: 9-6-02

DRAWN BY: SHERRY

CHECKED BY:

CODES: MA. STATE BUILDING CODE EDITION 6

REVISIONS DATE ITEM

PERMIT SHALL BE REQUIRED FROM THE MARBLEHEAD FIRE DEPARTMENT FOR INSTALLATION OF FIRE ALARM DEVICES.

SCALE: NO SCALE

SHEET NO. 1

Approved Fire Department
Fire Department
Marblehead

F. EXTERIOR ENVELOPE THEATRE BUILDING INFORMATION

ELEMENT	CODE REQUIREMENT	ACTUALS
WALL	.08	.05
FLOOR	.05	.05+
ROOF/CEILING	.033	.026
DOORS	.6	.40
WINDOWS	.87	.33
FOUNDATIONS	.10	N/A

G. LOCATIONS OF INFORMATION LABELS:

DATA PLATE:	ONE PER DWELLING (SEE FLOOR PLAN)	<input checked="" type="checkbox"/>
STATE LABEL:	ONE PER MODULE (SEE FLOOR PLAN) (MA, NH, CN, RI)	<input checked="" type="checkbox"/>
TRA LABEL:	ONE PER MODULE (SEE FLOOR PLAN) (ME, VT)	<input checked="" type="checkbox"/>

H. ATTIC VENTILATION:

REQUIRED:	(1) SQ. FT. PER (300) SQ. FT. OF CEILING AREA
ACTUAL:	880 SQ. FT. CEILING AREA
	293 SQ. FT. VENTILATION REQUIRED
	344 SQ. FT. PROVIDED AT EAVES (6.2 SQ. IN. PER LIN. FT.)
	N/A SQ. FT. PROVIDED AT GABLE ENDS (54 SQ. IN. PER END)
	5.00 SQ. FT. PROVIDED AT RIDGE (18 SQ. IN. PER LIN. FT.)
TOTAL:	8.44 SQ. FT. PROVIDED

A PERMIT SHALL BE REQUIRED FROM THE MARBLEHEAD FIRE DEPARTMENT FOR INSTALLATION OF FIRE ALARM DEVICES.

T.R. ARNOLD & ASSOCIATES
 P.O. Box 1081
 EXHART, IN 46515
 Commonwealth of Massachusetts
 Accredited Evaluation and
 Inspection Agency

This document is certified as being in conformance with Massachusetts State Codes and the National Electrical Code

Approved By: *[Signature]*
 Date: **SEPT 10, 2002**

Approval of this document does not authorize or approve any omission or deviation from the requirements of applicable State Laws.

D. BUILDING INFORMATION:

BUILDER: C.M.P.L.
 BUILDER'S ADDRESS: 461 BOSTON STREET
 CITY, STATE, ZIP: TOPSFIELD, MA. 01983
 RHODE ISLAND BUILDER'S LIC. #
 PROJECT LOCATION: EDGEWOOD RD. MARBLEHEAD, MA.
 MODEL DESIGNATION: 22'x40' CUSTOM COLONIAL #/1'-6"x13'-8" OFFSET
 USE GROUP: R-4 CONSTRUCTION CLASSIFICATION: 5-B
 AREA: 1ST FLOOR: 1038 2ND FLOOR: 880 3RD FLOOR: N/A
 VOLUME OF ENCLOSED SPACE: 15,344 CUBIC FEET
 HEIGHT ABOVE SILL: 27'-10" STORIES: 2
 FINISHED 2ND FLOOR

DESIGN OCCUPANCY LOAD:

1ST FLOOR: N/A 2ND FLOOR: N/A 3RD FLOOR: N/A

SPECIAL SYSTEMS: FIRE ALARM TYPE: SMOKE DETECTORS U.L. 217-77
 FIRE SUPPRESSION SYSTEM: N/A

(OTHER): WHEN FLOOR AREA EXCEEDS 1200 S.F.

(2) U.L. 217-77 SMOKE DETECTORS ARE REQ'D. (RHODE ISLAND ONLY)

DESIGN LINE LOADS: WALLS: 21PSF ROOF: 40 PSF 1ST FLOOR: 40 PSF
 2ND FLOOR: 30 PSF(CAPE / COLONIAL) N/A (RANCH)
 3RD FLOOR: N/A CORRIDORS: N/A
 STAIRS: 100 PSF(CAPE / COLONIAL) N/A (RANCH)
 WIND HORIZONTAL: 90 MPH
 INTERIOR WALLS: 5 PSF

SEISMIC HAZARD EXPOSURE GROUP #1
 SPECIAL USE PROVISIONS: NOT TO BE BUILT WITHIN FIRE UNIT LIMITS
 MUST BE LOCATED 6' FROM LOT LINE

E. HEATING SYSTEM INFORMATION:

SYSTEM TYPE: [HYDRONIC BASEBOARD] ELECTRIC BASEBOARD, FORCED HOT AIR
 RADIANT HEAT

FUEL: ELECTRIC, NATURAL, LPG, OIL OTHER THAN ELECTRIC HEAT-MASONRY
 CHIMNEY/VENTING SYSTEM TYPE: CHIMNEY BY BUILDER PER STATE & LOCAL
 BUILDING CODE OR AN APPROVED EQUAL.

BASEMENT:

IF HOT WATER BOILER AND/OR WATER HEATER ARE INSTALLED IN BASEMENT,
 THEN EITHER BASEMENT FOUNDATION WALLS MUST BE INSTALLED PER
 STATE & LOCAL BUILDING CODE, OR THE BELOW THE FLOOR WATER LINES
 MUST BE INSULATED PER STATE & LOCAL BUILDING CODE.

A. MANUFACTURER INFORMATION:

MAILING ADDRESS: P.O. BOX 9000
 OXFORD, ME. 04270
 MANUFACTURING PLANT ADDRESS: RTE 121 OXFORD,
 ME. 04270
 EXPIRATION DATE OF CURRENT CERTIFICATION: APRIL 30th, 2003
 MANUFACTURER STATE CERTIFICATION NUMBER: MAINE: MF70000112
 NEW HAMPSHIRE: M9308019

VERMONT: 50171
 CONNECTICUT: N/A
 RHODE ISLAND: Y9588
 MASSACHUSETTS: MCS#137

B. THIRD PARTY INSPECTION AGENCY INFORMATION:

THIRD PARTY INSPECTION AGENCY: T.R. ARNOLD & ASSOCIATES, INC.
 THIRD PARTY INSPECTION AGENCY AUTHORIZATION: I.A. #03
 AGENCY AUTHORIZATION EXPIRATION DATE: APRIL 30th, 2003

KEISER INDUSTRIES CERTIFIES THAT THIS DOCUMENT CONFORMS WITH THE
 SYSTEMS APPROVALS AND SPECIFICATIONS APPROVED BY T.R.A. AND IS IN
 COMPLIANCE WITH THE FOLLOWING STATE CODES: ME, NH, VT, RI, MA, CT.
 SEP

C. INDEX OF INFORMATION:

TOTAL NUMBER OF SHEETS IN EACH SET:	DWG. #/G#	DESCRIPTION	DWG. DATE	REV. DATE
1		COVER SHEET	9-6-02	
2		1ST FLOOR PLAN	9-5-02	
2A		2ND FLOOR PLAN	9-5-02	
2B		ATTIC LAYOUT	9-9-02	
3		ELEVATION PLAN	9-5-02	
4		FOUNDATION PLAN	9-5-02	
5		1ST FLR ELECTRICAL PLAN	9-5-02	
5A		2ND FLR ELEC.PLAN	9-5-02	
6		1ST FLR HEAT PLAN	9-6-02	
6A		2ND FLR HEAT PLAN	9-6-02	
7		CONSTRUCTION DATA & REFERENCE SHEET	9-6-02	
8		GROSS SECTION (STD)	9-6-02	
8A		GROSS SECTION (COLONIAL)	9-6-02	
8B		GROSS SECTION (CAPE)	9-6-02	
9		PLUMBING (FIRST FLR DRAIN)	9-6-02	
9A		PLUMBING (FIRST FLR VENT)	9-6-02	
9B		PLUMBING (2ND FLR DRAIN)	9-6-02	
9C		PLUMBING (FIRST FLOOR TREE)	9-9-02	
9D		PLUMBING (2ND FLOOR TREE)	9-9-02	

REISER
 INDUSTRIES, INC.
 P.O. BOX 9000 RTE. 121
 OXFORD, ME 04270
 TELE: (207) 539-8983
 FAX: (207) 539-4446

DWG NO. KIM 2355

DATE: 9-5-02

DATE: 9-5-02

SUBMITTAL
 1st FLOOR PLAN

DRAWN BY: SHERRY

CHECKED BY:

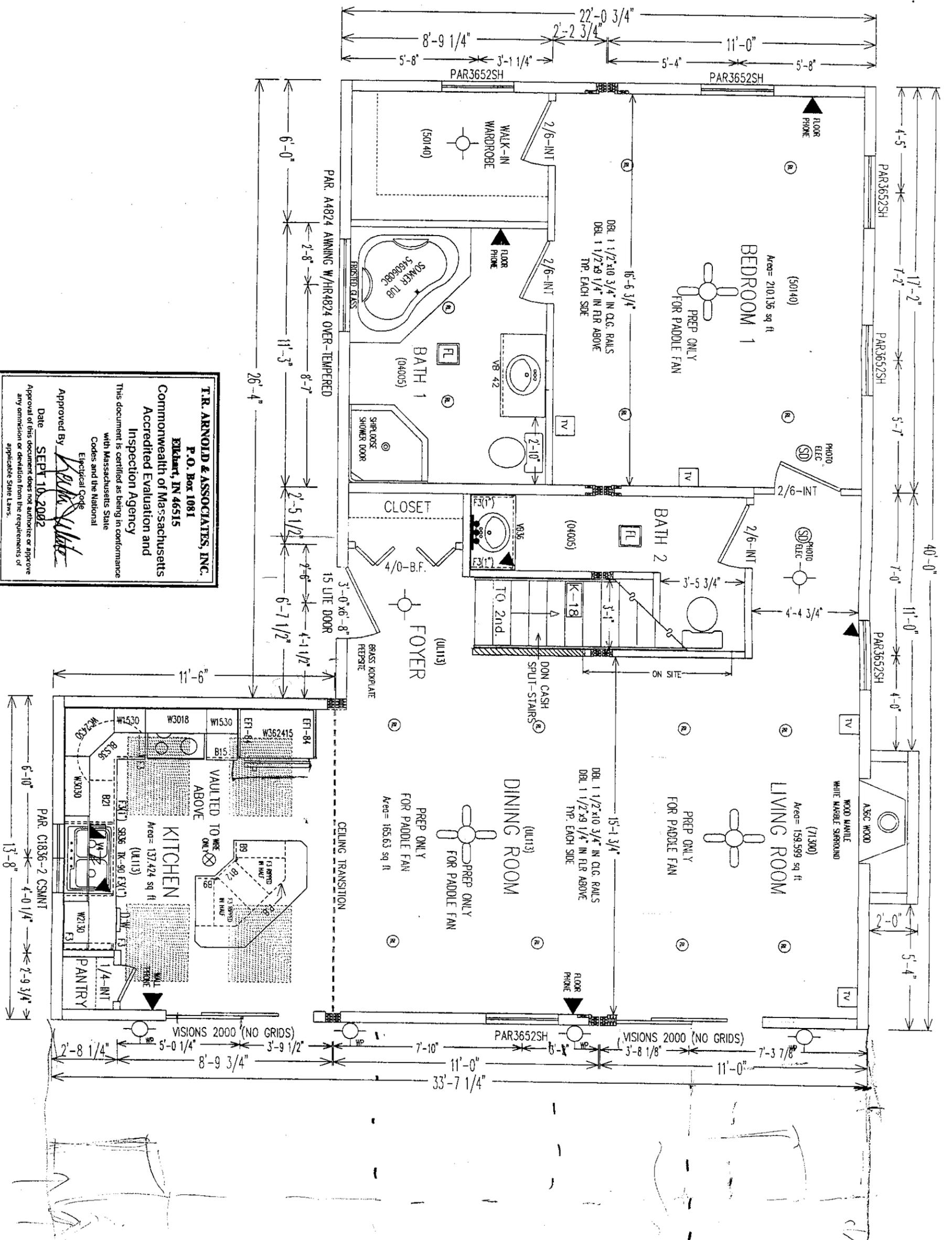
REVISIONS

DATE

ITEM

SCALE: 1/4" = 1'-0"

SHEET NO. 2



T.R. ARNOLD & ASSOCIATES, INC.
 P.O. Box 1081
 ELKHART, IN 46515
 Commonwealth of Massachusetts
 Accredited Evaluation and
 Inspection Agency
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 Codes and the National
 Electrical Code
 Approved By: *[Signature]*
 Date: SEPT 10, 2002
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KEISER
INDUSTRIES, INC.
 P.O. BOX 9000 RTE. 121
 OXFORD, ME 04270
 TELE: (207) 539-8883
 FAX: (207) 539-4448

DWG NO.
 KIM 2355

LAYER NAME:
 ELEV

DATE:
 9-5-02

ELEVATIONS

DRAWN BY:
 SHERRY

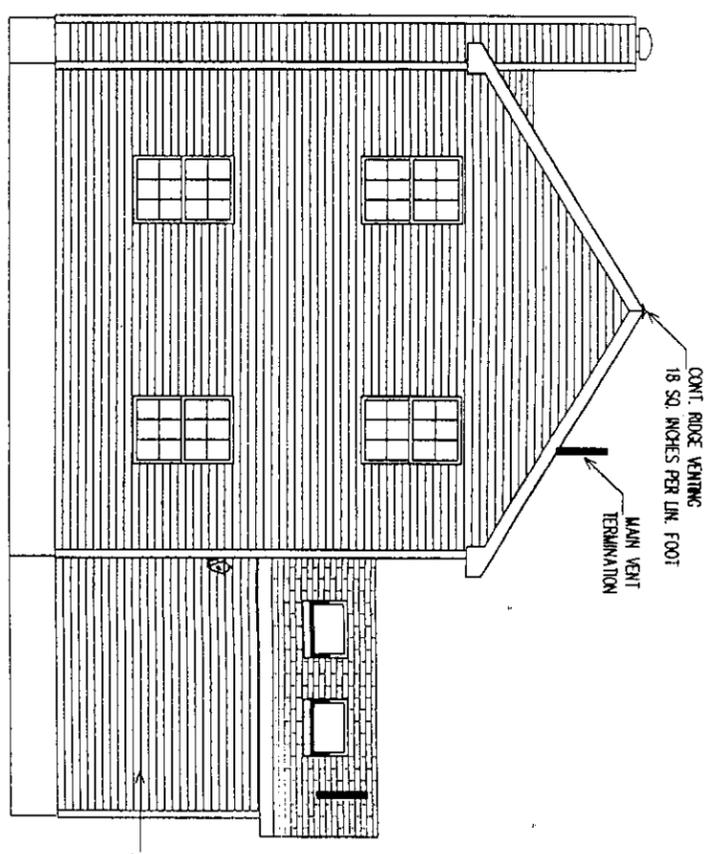
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REVISIONS

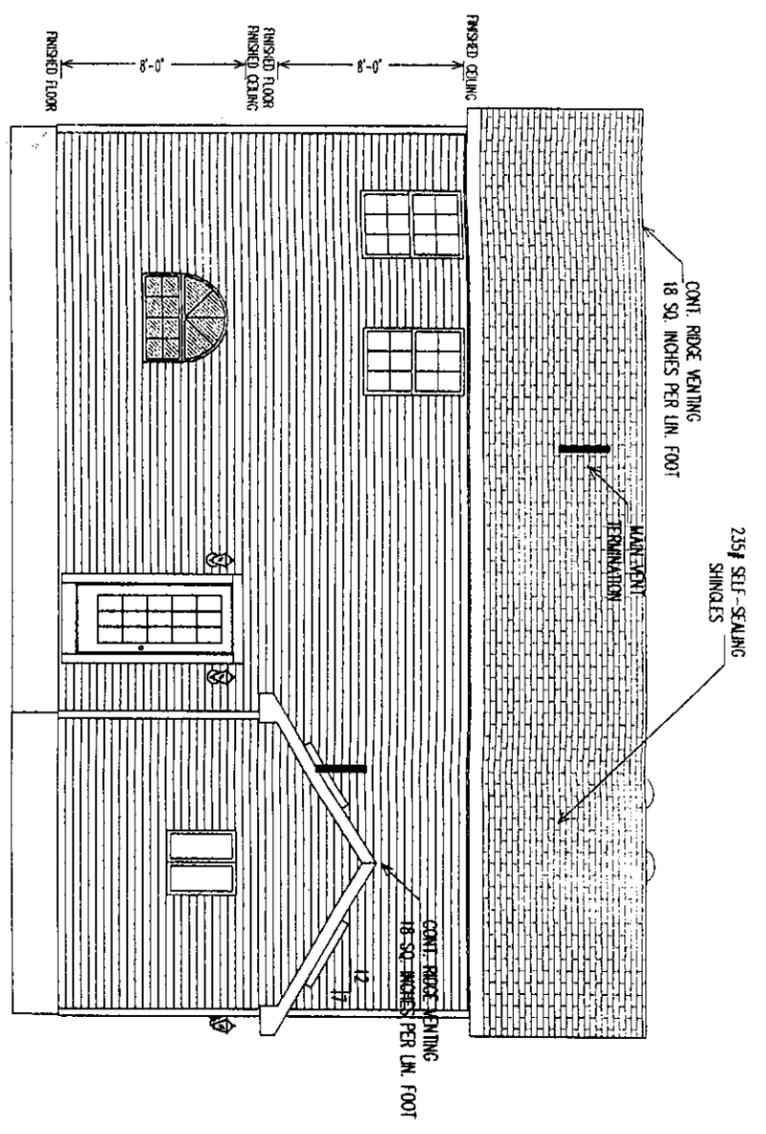
DATE	ITEM

SCALE:
 NO SCALE

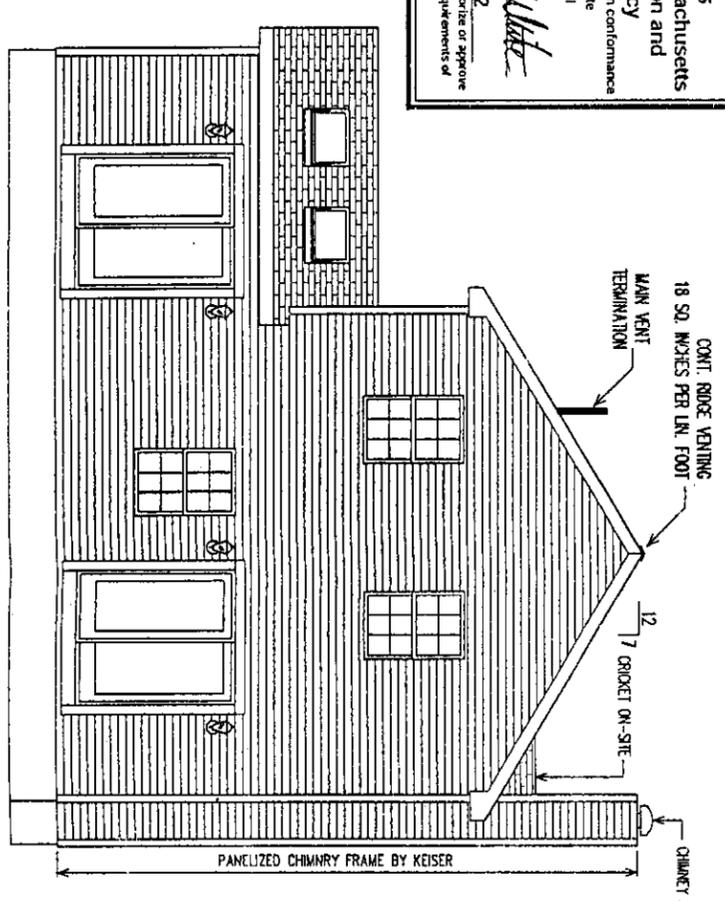
SHEET NO.
 3



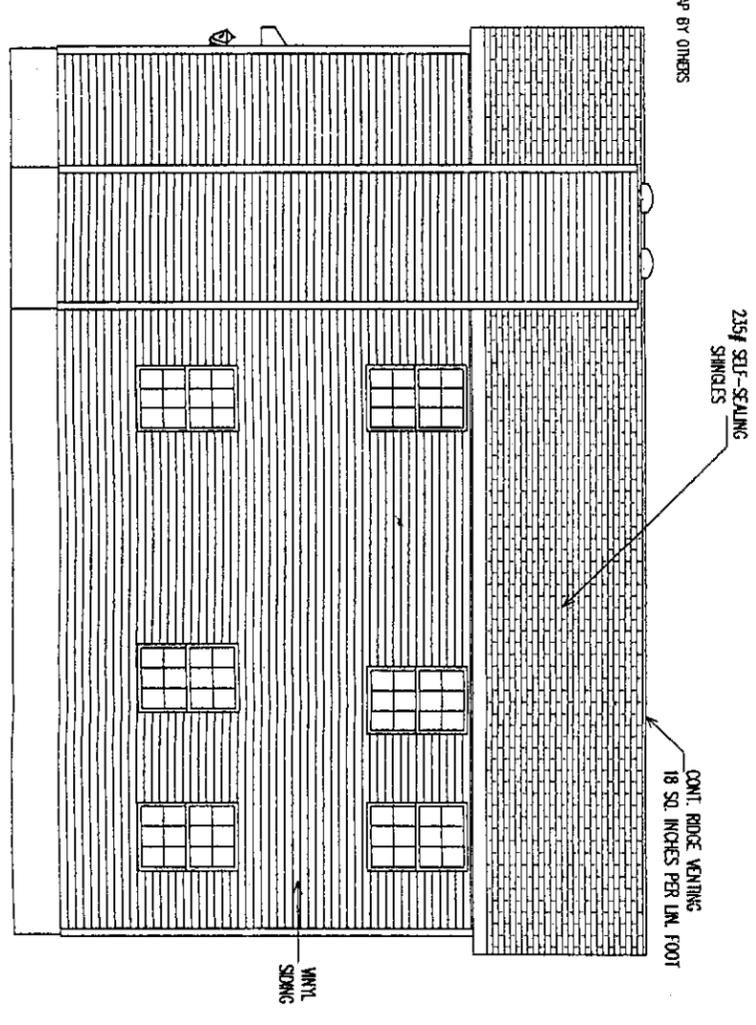
LEFT END ELEVATION



FRONT ELEVATION



RIGHT END ELEVATION



REAR ELEVATION

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