

lot 87 R15082

Title 8938

MARBLEHEAD PLANNING BOARD
ACCESSORY DWELLING UNIT (ADU) APPLICATION

RECEIVED
MAY 8 2024
MAY 9 2024

PART I:

Name(s): Judy + Richard DANE Address: 4 Edgewood Rd.

Telephone number: 978-578-5175 E-mail: judydane@comcast.net

Do you reside at this address? YES ☒ NO ☐

Will you be residing in the primary residence or the Accessory Dwelling Unit? YES ☒ NO ☐

Do you possess title to this property (or have a P&S)? YES ☒ NO ☐

Date of Deed: _____ Book #: _____ Page #: _____ or copy of signed P&S

Is this a single-family residence? YES ☒ NO ☐

The accessory dwelling unit may not be sold or transferred separate and apart from the principal dwelling to which it is an accessory use. YES ☒ NO ☐

Note: All the answers above must be YES to apply

PART II: DESCRIPTION

(1) The proposed Accessory Dwelling Unit be within or attached to the principal residence, or within or attached to or a new detached structure. ☒ Principal Residence ☐ Detached Structure

(2) Are all stairways to the accessory dwelling unit above the first floor shall be located on the rear or side of the dwelling. YES ☒ NO ☐ N/A ☐

(3) How many bedrooms will the ADU have? 1

(4) Is the size of the Accessory Dwelling Unit 1000 sf or less? YES ☒ NO ☐

(5) What is the square footage of the existing dwelling? 1928

(6) What is the total square footage of the proposed Accessory Dwelling Unit? 844

(7) What would be the total square footage of the existing house and new Accessory Dwelling Unit combined? 1928

(8) What is the calculated percentage of the house to be used as the Accessory Dwelling (calculate using the answer to #5 divided by the answer to #6)? 450% about 40%

(9) The accessory dwelling unit does not exceed 50% of the gross floor area of the principal dwelling

YES ☐ NO ☒ it does not

10) Will at least one off-street parking space be provided for the accessory dwelling?

YES ☒ NO ☐

PART III: REQUIRED ATTACHMENTS

- (1) A certified plot plan of the proposed accessory dwelling unit, the principal dwelling where it is to be located is attached YES ☒ NO ☐
- (2) Floor plans and elevations. YES ☒ NO ☐

Note: Plans attached plans shall be drawn to scale and identify the existing structure and proposed modifications to create the accessory dwelling unit. *on file*

- (3) A Narrative Description of the units including number of bedrooms, size and layout and addressing the following:

- ☒ a. Architectural features and design are compatible with the existing neighborhood.
- ☒ b. Vehicular and pedestrian movement is safe and convenient (parking is provided or adequate in neighborhood, curb cuts do not exceed allowed).
- ☒ c. Adverse effects on abutters are minimized (limited or no impact from the street; and privacy).

PART IV: FURTHER

By signing this application, I certify that I understand the following:

- (1) The principal dwelling and the accessory dwelling unit will remain in common or single ownership and shall not be severed in ownership.
- (2) Short-term rentals, as defined (less than 90 days), are prohibited in both the accessory and principal dwelling units and I will not rent to a tenant for less than 90-day lease or arrangement.
- (3) When a structure, which has received a permit for an accessory dwelling unit, is sold, the new owner(s), if they wish to continue to exercise the Permit, must, within thirty (30) days of the sale, submit a notarized letter stating that they will occupy one of the dwelling units on the premises as their primary residence. This shall be part of the municipal lien certificate.

Applicant Signature:

Sudith Doane Richard Doane

Applicant Name:

Sudith Doane Richard Doane

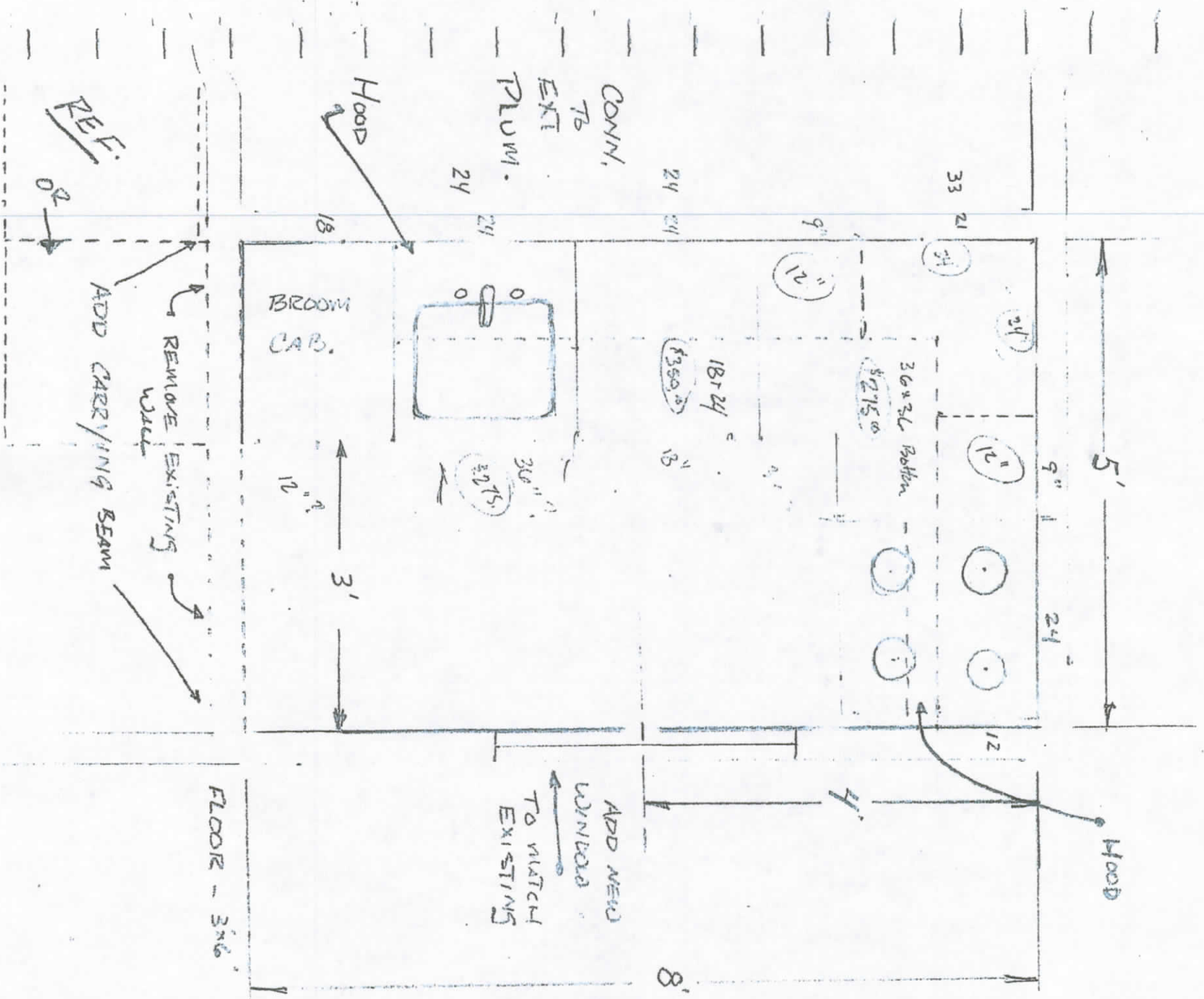
Date:

3/7/24

December 19, 2023 at 6:27 PM

JUDY'S Kitchen

- remove existing door to closet. Remove small partition wall to the left of closet door. Install carrying beam in frame to support new opening.
- Remove existing flooring, (carpeting)
- Cut out and expose plumbing from bathroom. Plumb new lines for kitchen sink from existing plumbing.
- Run new electrical line to new sub panel to supply kitchen, outlets, and other electrical appliances.
- Install new cabinetry on floor and wall.
- Install new countertop
- Install new flooring to be picked out from customer
- Cut out in frame new window in new kitchen area. To be finished to match existing windows.



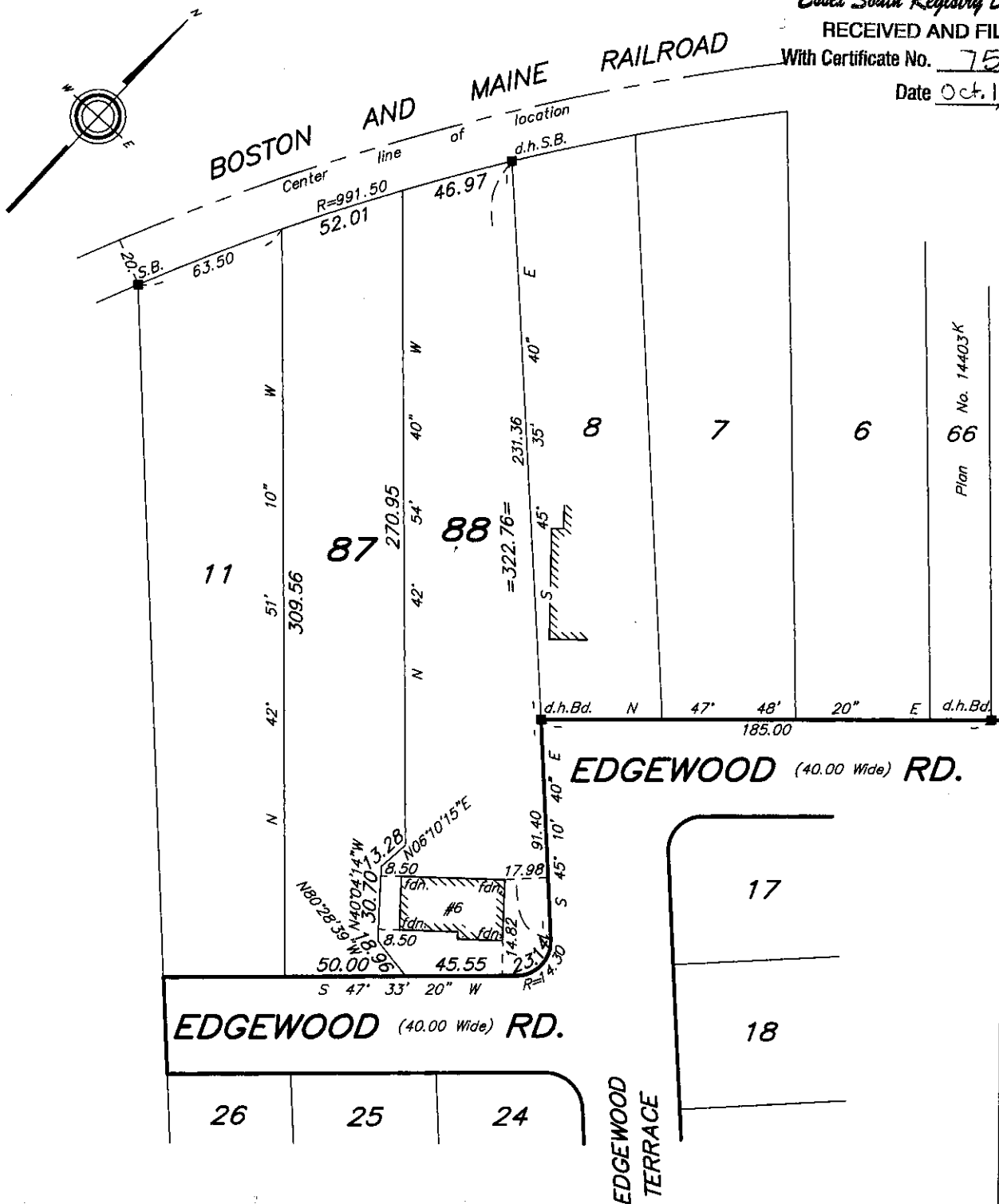
SUBDIVISION PLAN OF LAND IN MARBLEHEAD
 Landmark Engineering & Surveying, Inc., Surveyors
 April 29, 2002

14403Q

Essex South Registry District
 RECEIVED AND FILED

With Certificate No. 75082

Date Oct. 1, 2002



Subdivision of Lots 9 and 10
 Shown on Plan 14403B
 Filed with Cert. of Title No. 8938
 South Registry District of Essex County

Separate certificates of title may be issued for land
 shown hereon as Lots 87 and 88
 By the Court.

JUNE 13, 2002

RSG-05K2

Charles A. Munkley
 Recorder

Abutters are shown as
 on original decree plan.

Copy of part of plan
 filed in
 LAND REGISTRATION OFFICE
 JUNE 13, 2002
 Scale of this plan 50 feet to an inch
 G.T. Capelionis, Deputy Engineer for Court



COVER SHEET

APPROVED
SEP 19 2002

KEISER
INDUSTRIES INC.

P.O. BOX 9000 RIE. 121
OXFORD, ME 04270
TEL: (207) 539-8883
FAX: (207) 539-4446

DWG NO.:
KIM 2355

LAYER NAME:
COVER SHEET

STYLE:
22'x40'
CUSTOM
COLONIAL

DEALER:
C.M.P.L.

CUSTOMER:
JUDY DOANE

DATE:
9-6-02

DRAWN BY:
SHERRY

CHECKED BY:

CODES:
MA. STATE BUILDING
CODE EDITION 6

REVISIONS
DATE ITEM

FROM THE
MARBLEHEAD FIRE DEPARTMENT FOR
INSTALLATION OF FIRE ALARM DEVICES

SCALE:

NO SCALE

SHEET NO.

1

D. BUILDING INFORMATION:

BUILDER: C.M.P.L.
BUILDER'S ADDRESS: 461 BOSTON STREET
CITY, STATE, ZIP: TOPSFIELD, MA. 01983
RHODE ISLAND BUILDER'S LIC. #
PROJECT LOCATION: EDGEWOOD RD. MARBLEHEAD, MA.
MODEL DESIGNATION: 22'x40' CUSTOM COLONIAL w/11'-6"x13'-8" OFFSET
USE GROUP: R-4 CONSTRUCTION CLASSIFICATION: 5-B
AREA: 1ST FLOOR: 1038 2ND FLOOR: 880 3RD FLOOR: N/A
VOLUME OF ENCLOSED SPACE: 15,344 CUBIC FEET
HEIGHT ABOVE SILL: 27'-10" STORIES: 2
FINISHED 2ND FLOOR

DESIGN OCCUPANCY LOAD:

1ST FLOOR: N/A 2ND FLOOR: N/A 3RD FLOOR: N/A

SPECIAL SYSTEMS:

FIRE ALARM TYPE: SMOKE DETECTORS U.L. 217-77
FIRE SUPPRESSION SYSTEM: N/A

(OTHER):

WHEN FLOOR AREA EXCEEDS 1200 S.F.
(2) U.L. 217-77 SMOKE DETECTORS ARE REQ'D. (RHODE ISLAND ONLY)

DESIGN LINE LOADS: WALLS: 21PSF ROOF: 40 PSF 1ST FLOOR: 40 PSF

2ND FLOOR: 30 PSF(CAPE / COLONIAL) N/A (RANCH)

3RD FLOOR: N/A CORRIDORS: N/A

STAIRS: 100 PSF(CAPE / COLONIALS) N/A (RANCH)

WIND HORIZONTAL: 90 MPH

INTERIOR WALLS: 5 PSF

SEISMIC HAZARD EXPOSURE GROUP #1

SPECIAL USE PROVISIONS: NOT TO BE BUILT WITHIN FIRE UNIT LIMITS

MUST BE LOCATED 6' FROM LOT LINE

E. HEATING SYSTEM INFORMATION:

SYSTEM TYPE: [HYDRONIC BASEBOARD] ELECTRIC BASEBOARD, FORCED HOT AIR
RADIANT HEAT

FUEL: ELECTRIC, NATURAL, LPG, OIL OTHER THAN ELECTRIC HEAT-MASONRY
CHIMNEY/VENTING SYSTEM TYPE: CHIMNEY BY BUILDER PER STATE & LOCAL
BUILDING CODE OR AN APPROVED EQUAL.

BASEMENT:

IF HOT WATER BOILER AND/OR WATER HEATER ARE INSTALLED IN BASEMENT,
THEN EITHER BASEMENT FOUNDATION WALLS MUST BE INSTALLED PER
STATE & LOCAL BUILDING CODE, OR THE BELOW THE FLOOR WATER LINES
MUST BE INSULATED PER STATE & LOCAL BUILDING CODE.

A. MANUFACTURER INFORMATION:

MAILING ADDRESS:

P.O. BOX 9000
OXFORD, ME. 04270

MANUFACTURING PLANT ADDRESS:

RTE 121 OXFORD,
ME. 04270

EXPIRATION DATE OF CURRENT CERTIFICATION:

APRIL 30th, 2003

MANUFACTURER STATE CERTIFICATION NUMBER:

MAINE: MF70000112

NEW HAMPSHIRE: M9308019

VERMONT: 50171

CONNECTICUT: N/A

RHODE ISLAND: Y9588

MASSACHUSETTS: MCS#137

B. THIRD PARTY INSPECTION AGENCY INFORMATION:

3RD PARTY INSPECTION AGENCY: T.R. ARNOLD & ASSOCIATES, INC.

3RD PARTY INSPECTION AGENCY AUTHORIZATION: I.A. #03

AGENCY AUTHORIZATION EXPIRATION DATE: APRIL 30th, 2003

KEISER INDUSTRIES CERTIFIES THAT THIS DOCUMENT CONFORMS WITH THE
SYSTEMS APPROVALS AND SPECIFICATIONS APPROVED BY T.R.A. AND IS IN
COMPLIANCE WITH THE FOLLOWING STATE CODES: ME, NH, VT, RI, MA CT.
SP

C. INDEX OF INFORMATION:

TOTAL NUMBER OF SHEETS IN EACH SET:
DWG/PG# DESCRIPTION DWG. DATE REV. DATE

1	COVER SHEET	9-6-02	
2	1ST FLOOR PLAN	9-5-02	
2A	2ND FLOOR PLAN	9-5-02	
2B	ATTIC LAYOUT	9-9-02	
3	ELEVATION PLAN	9-5-02	
4	FOUNDATION PLAN	9-5-02	
5	1ST FLR ELECTRICAL PLAN	9-5-02	
5A	2ND FLR ELEC.PLAN	9-5-02	
6	1ST FLR HEAT PLAN	9-6-02	
6A	2ND FLR HEAT PLAN	9-6-02	
7	CONSTRUCTION DATA & REFERENCE SHEET	9-6-02	
8	CROSS SECTION (STD)	9-6-02	
8A	CROSS SECTION (COLONIAL)	9-6-02	
8B	CROSS SECTION (CAPE)	9-6-02	
9	PLUMBING (FIRST FLR DRAIN)	9-6-02	
9A	PLUMBING (FIRST FLR VENT)	9-6-02	
9B	PLUMBING (2ND FLR DRAIN)	9-6-02	
9C	PLUMBING (FIRST FLOOR TREE)	9-9-02	
9D	PLUMBING (2ND FLOOR TREE)	9-9-02	

F. EXTERIOR ENVELOPE INFORMATION

ELEMENT	CODE REQUIREMENT	ACTUALS
WALL	.08	.05
FLOOR	.05	.05+
ROOF/CEILING	.033	.026
DOORS	.6	.40
WINDOWS	.87	.33
FOUNDATIONS	.10	N/A

G. LOCATIONS OF INFORMATION LABELS:

DATA PLATE:	ONE PER DWELLING (SEE FLOOR PLAN)	<input checked="" type="checkbox"/>
STATE LABEL:	ONE PER MODULE (SEE FLOOR PLAN) (MA, NH, CN, RI.)	<input checked="" type="checkbox"/>
TIRA LABEL:	ONE PER MODULE (SEE FLOOR PLAN) (ME, VT)	<input checked="" type="checkbox"/>

H. ATTIC VENTILATION:

REQUIRED:	(1) SQ. FT. PER (300) SQ. FT. OF CEILING AREA
ACTUAL:	880 SQ. FT. CEILING AREA
	293 SQ. FT. VENTILATION REQUIRED
	344 SQ. FT. PROVIDED AT EAVES (6.2 SQ IN. PER LIN. FT.)
	N/A SQ. FT. PROVIDED AT GABLE ENDS (54 SQ. IN. PER END)
	5.00 SQ. FT. PROVIDED AT RIDGE (18 SQ. IN. PER LIN. FT.)
TOTAL:	8.44 SQ. FT. PROVIDED

A PERMIT SHALL BE REQUIRED
FROM THE
MARBLEHEAD FIRE DEPARTMENT FOR
INSTALLATION OF FIRE ALARM DEVICES
AND/OR FIRE PROTECTION DEVICES.

T.R. ARNOLD & ASSOCIATES, INC. P.O. Box 1081 Eliakart, IN 46515	
Commonwealth of Massachusetts Accredited Evaluation and Inspection Agency	
This document is certified as being in conformance with Massachusetts State Codes and the National Electrical Code	
Approved By:	<i>[Signature]</i>
Date:	SEPT 10, 2002
Approval of this document does not authorize or approve any omission or deviation from the requirements of applicable State Laws.	

KIM 2355

SUBMIT

9-5-02

SUBMITTAL
1st FLOOR PLAN

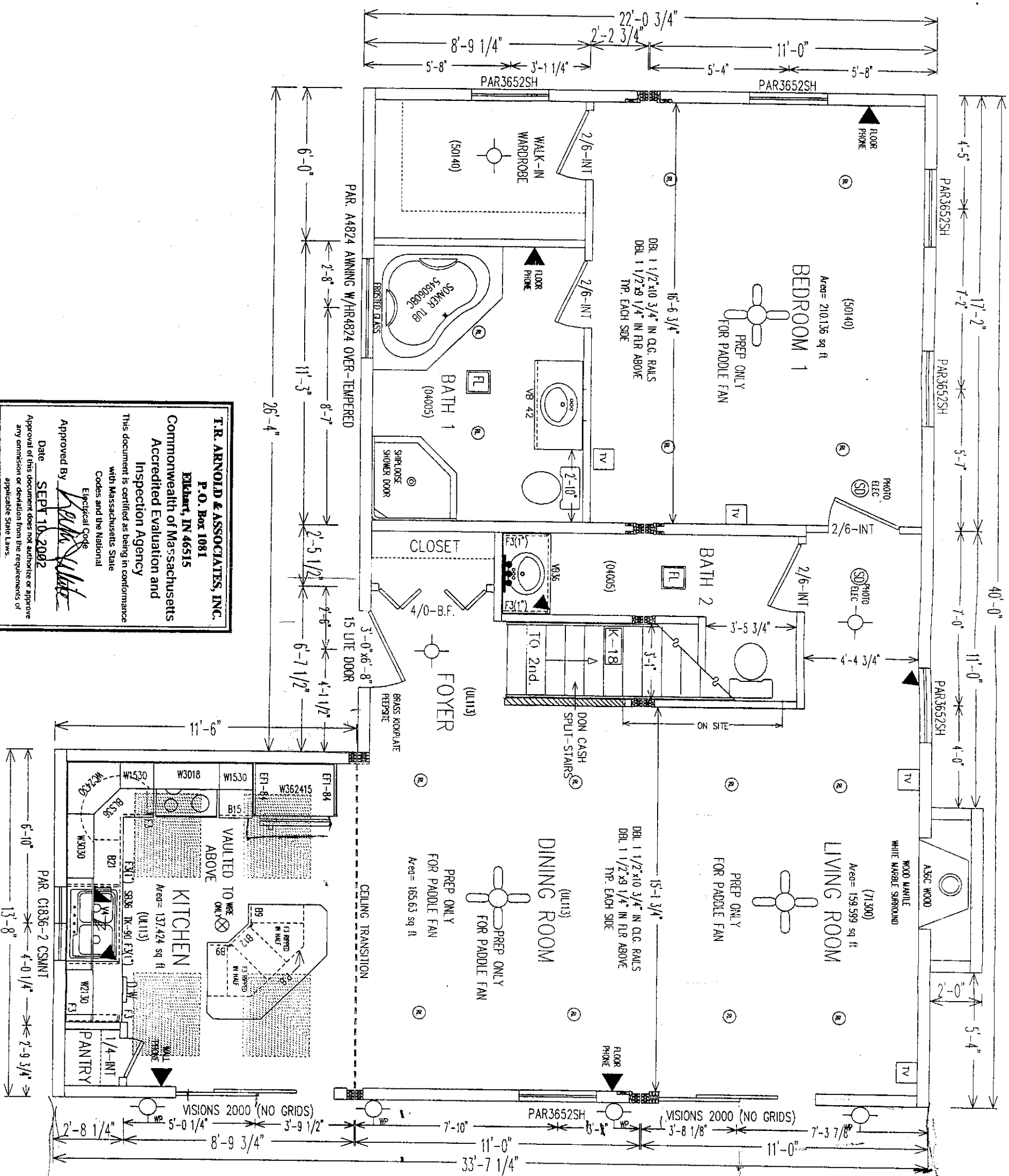
SHERRY

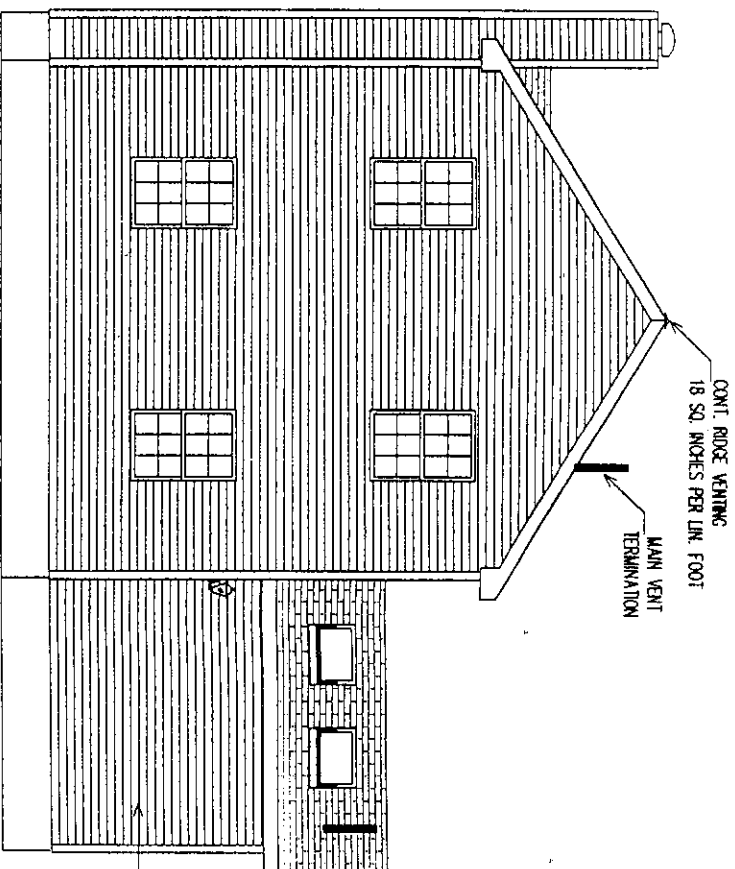
ED BY:

REVISIONS	
DATE	ITEM

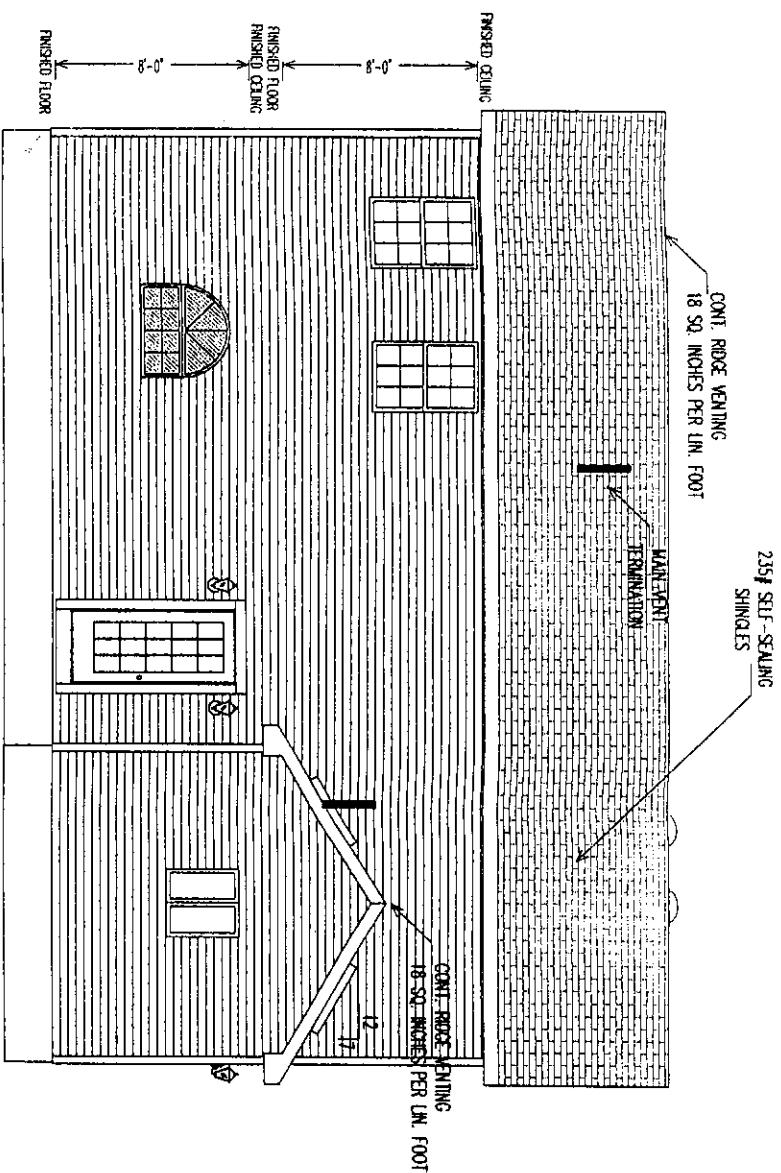
SCALE:
1/4"=1'-0"

SHEET NO.

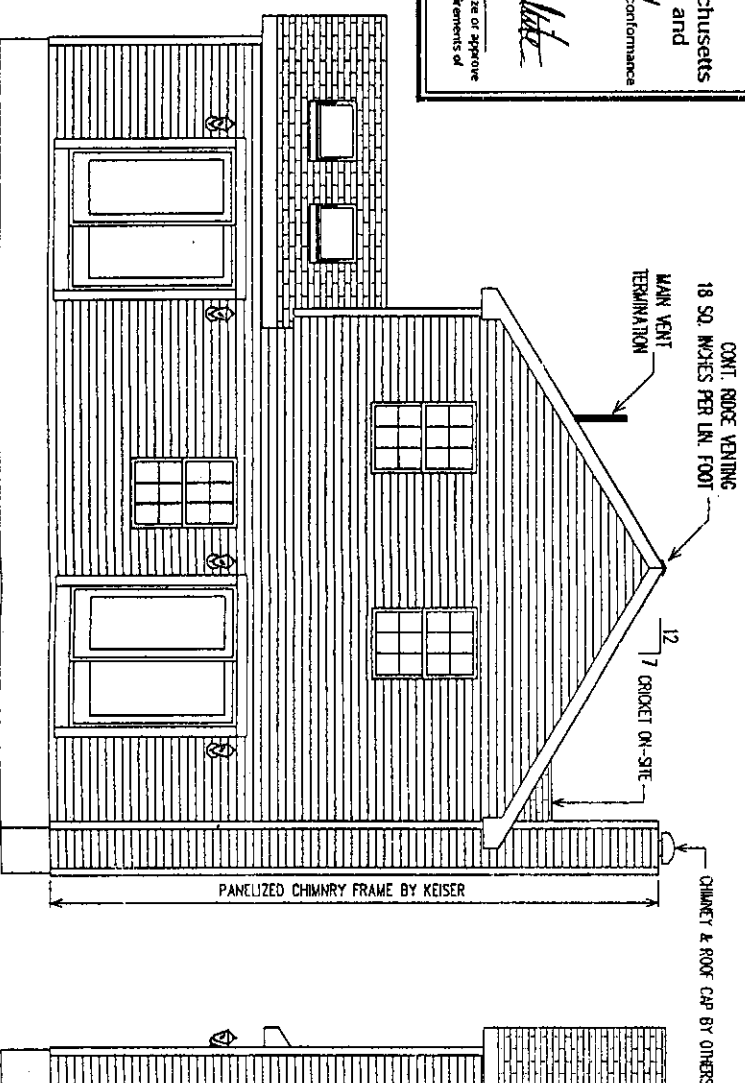




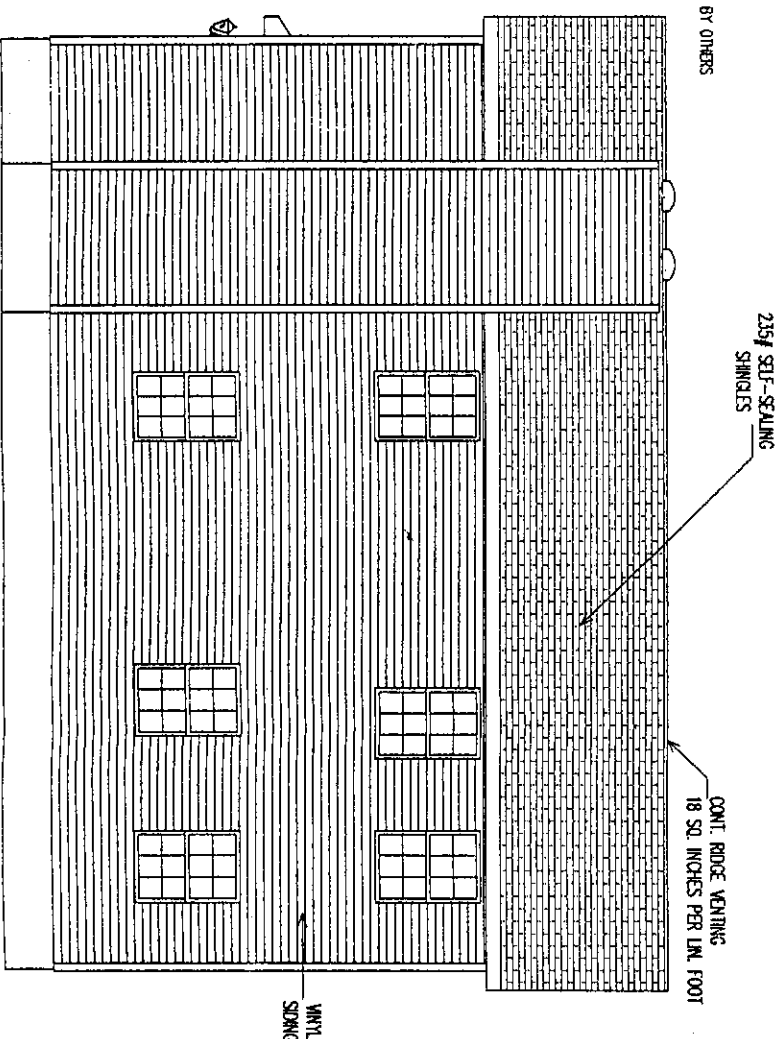
LEFT END ELEVATION



FRONT ELEVATION



RIGHT END ELEVATION



REAR ELEVATION

T.R. ARNOLD & ASSOCIATES, INC.
P.O. Box 1081
Elkhart, IN 46515
Commonwealth of Massachusetts
Accredited Evaluation and
Inspection Agency
This document is certified as being in conformance
with Massachusetts State
Codes and the National
Electrical Code
Approved By *[Signature]*
Date SEPT 10, 2002
Approval of this document does not authorize or approve
any omission or deviation from the requirements of
applicable State Laws.

ELEVATIONS

DRAWN BY:
SHERRY

CHECKED BY:

REVISIONS

DATE	ITEM

SCALE:

NO SCALE

SHEET NO.

3

KEISER
INDUSTRIES INC.
P.O. BOX 9000 RTE. 121
OXFORD, ME 04270
TEL: (207) 539-8863
FAX: (207) 539-4448

DWG NO.

KIM 2355

LAYER NAME:

ELEV

DATE:

9-5-02