

TOWN OF MARBLEHEAD
SITE PLAN APPROVAL APPLICATION
PLANNING BOARD



1. Property Address: 46 CLOUTMANS LANE, MARBLEHEAD, MA
2. Assessor Map 179 Lot 16 3. Zoning District SSR
4. Applicant: PATRICK ROUSSEAU AND LESLIE ROUSSEAU
5. Applicant's Address 46 CLOUTMANS LANE, MARBLEHEAD, MA
6. Telephone Number: 203 435 5951 (Daytime) 203-435-5951 (Evening)
7. Email address: PATRICK K ROUSSEAU @ GMAIL.COM
7. Applicant's Representative _____
8. List other permits required and status (e.g. Old & Historic Districts, Conservation, Board of Appeals, etc., obtained, scheduled, etc.) _____
ZBA - Special PERMIT

Patrick Rousseau
(Signature of Owner)

30 October 2025
(Date)

9. Name and mailing address and phone number that the legal advertisement should be billed to
Name PATRICK ROUSSEAU
Address 3819 WHIPPOORWILL BLVD
PUNTA GORDA, FL 33950
Phone: 203-435-5951

FOR TOWN USE ONLY

Application Received _____ Submittal Deemed Complete _____

Waivers _____

Scheduled Hearing Date _____ File Number _____

**SITE PLAN APPROVAL CHECK LIST
PLANNING BOARD**

Each Site Plan Approval Special Permit shall be accompanied by the following information:

- (1) Five (5) copies of a Site Plan which shall be a certified plot plan at a minimum scale of 1"=40' and a maximum scale of 1"=20'. The Site Plan shall contain:
 - (a) _____ Date of Plan with all revisions noted and dated
 - (b) _____ Title of Development/Project
 - (c) _____ North Arrow
 - (d) _____ Scale of Plan
 - (e) _____ Name and Address of record Owner
 - (f) _____ Name and Address of person preparing the Site Plan
 - (g) _____ The names of all owners of record of adjacent properties and the map and lot number of the properties and all buildings
 - (h) _____ Zoning District Boundaries and Flood Zone Boundaries
 - (i) _____ Boundaries of the property and lines of existing streets, lots, easements and right of ways
 - (j) _____ A locus map
 - (k) _____ A table indicating all calculations necessary to determine conformance to Bylaw regulations including current required and proposed regulations
 - (l) _____ Square footage of property
 - (m) _____ Location of existing and proposed buildings, walls, fences, culverts, parking areas, loading areas, walkways and driveways
 - (n) _____ Location and dimensions of all utilities
 - (o) _____ Location, type and dimensions of landscaping and screening
 - (p) _____ Location of significant site features
 - (q) _____ Contours
- (2) Five (5) copies of dimensioned schematic drawings of all proposed buildings. Scale not to exceed 1/4"=1' nor less than 1/8"=1'.
- (3) A narrative describing the proposal

The narrative must address the following: The extent to which:

- (a) The architectural and design features are in harmony with the prevailing character and scale of buildings in the neighborhood and Town (such as but not limited to: building materials, screening, breaks in roof and wall lines, adequate light, air, circulation and separation between buildings).
- (b) The character of the site is preserved (such as but not limited to: protection of historical and natural resources and existing terrain, minimization of grade changes, tree and soil removal).

(c) Vehicular and pedestrian movement within the site are convenient and safe (such as but not limited to: traffic patterns, circulation, location of driveway openings, parking, loading, access by emergency vehicles, and visibility of and identity of street address numbers).

(d) External emissions from the site are minimized or eliminated (such as but not limited to: erosion, surface water runoff, pollution, sewage, disposal of refuse, odors, noise, glare, light and any other environmental impacts).

(e) The adverse effects on abutting lots, the immediate neighborhood and the Town of Marblehead are minimized including (such as but not limited to: conflicts between residential, commercial and industrial uses, obstructions of views, increases in use of Town services and impact on Town infrastructure).

(4) A completed application form

(5) An application fee (the fee is calculated by taking the construction cost and multiplying by .001. *Example 350,000 construction cost x .001 = \$350 FEE*
The minimum fee is \$200 and the maximum fee is \$1000)

Please circle "Yes" or "No"

(6) Applicant acknowledges that any alterations to driveway opening(s) on the public way are subject to the Town of Marblehead Curb Cut Regulations (Article IV Curb Cuts 255-13). Yes/No

(7) Applicant acknowledges that any alterations that impact the public way require a "Street, Way or Sidewalk Opening Permit," issued by the Department of Public Works. Yes/No

Applicants should refer to the Marblehead Zoning Bylaw 200-37 – Special Permit for Site Plan Approval for more detailed information on Site Plan Approval.

Narrative for 46 Cloutmans Lane Site Plan Approval Application

This project is a 12 ft by 32 ft one-story addition to 46 Cloutman's Lane to enable one-floor-living. It includes a bedroom, closet, and bathroom with a two-car garage underneath. The lot is currently non-conforming, but this addition will not make it any more non-conforming.

The current residence has a wrap-around-porch on 3 sides. Externally, this addition will look as if the porch simply wraps around the fourth side, but it will be enclosed to house the bedroom and bathroom. One section of the front porch already is enclosed and houses a half-bathroom. Therefore, the architectural and design features are in harmony with the prevailing character and scale of the existing building as well as the other homes in the area as most are built in similar fashion.

The character of the site is also preserved as the only soil removed is that which is required for the foundation. No trees or any other existing site features will be changed. The driveway will be fully permeable and exits onto a way that is only used by this home and three neighbors. There is no added traffic or alteration that would limit any existing use of this way and the overall Cloutman's Lane area.

There will be no increase in environmental impacts from this home and there are currently no issues with erosion, surface water runoff, pollution, sewage, disposal of refuse, odors, glare, light or any other environmental impacts.

There are no adverse effects, due to this addition, on abutting lots, the immediate neighborhood, and the Town of Marblehead. A few years back, we purchased the vacant lot on the west side of our home to ensure we have far more setback than required. The addition ends before the old property line that used to separate these lots. This was done to make certain that views are not obstructed and to ensure that purchased lot is never built on. This addition does not require any increase in the use of Town services and has no impact on the Town infrastructure.

NOTES

1. SEE TOWN OF MARBLEHEAD PARCEL ID #179-16-0, DEED BOOK #32574 PAGE 455 FOR 46 CLOUTMAN'S LANE AND PARCEL ID # 1799-15-0, DEED BOOK #30672 #504 AND PLAN 13 OF 1929 FOR 46 CLOUTMAN'S LANE ESDRD FOR BOTH LOTS.
2. ZONE DISTRICT IS SSR (SHORELINE SINGLE RESIDENTIAL)

FOR REGISTRY USE



APPROVED BY THE TOWN OF MARBLEHEAD
ZONING BOARD OF APPEALS

DATE

HEARING

APPROVED

**PLAN OF LAND
IN
MARBLEHEAD, MA**

PREPARED FOR
PATRICK ROUSSEAU

3819 WHIPPOORWILL BLVD
PUNTA GORDA, FLORIDA 33950

DATE: SEPTEMBER 24, 2025

SCALE: 1"=20'



MERRIMACK ENGINEERING SERVICES
86 PARK STREET
ANDOVER, MASSACHUSETTS 01810
PHONE: (978) 475-3555 FAX: (978) 475-1448
EMAIL: MERRENG@AOL.COM

Reviewed by
Building Department
For Zoning Board
Of Appeals

A RESIDENTIAL ADDITION/RENOVATION

for

Mr. + Mrs. Patrick Rousseau

46 Cloutmans Lane Marblehead, Massachusetts 01945

CLIENT Mr. + Mrs. Patrick + Leslie Rousseau
46 Cloutmans Lane Marblehead, MA 01945
(203) 435-5951

DESIGNER and CONSTRUCTION CONSULTANT

Paul G. Fermano, AIA - Residential Designer
17 Prince Street Marblehead, MA 01945-2223
(978) 764-3404

Reviewed by Building Department For Zoning Board Of Appeals

ZONING DATA

PROPERTY LOCATION: 46 Cloutmans Lane
ASSESSORS MAP No.: 97 BLOCK No.: 22

ZONING DISTRICT: Shoreline Single Residence PERMITTED USE: One-Family Dwelling

TABLE 2 - DIMENSIONAL REGULATIONS

MIN. LOT AREA	FRONTAGE (FEET)	SETBACKS			MIN OPEN AREA	MAX. HEIGHT
		FRONT	SIDES	REAR		
10,000 sf	100 ft	20 ft	25 ft	15 ft	1:1 RATIO	30 ft

EXISTING CONDITIONS

LOT AREA	FRONTAGE	SETBACKS			OPEN AREA	ACTUAL HEIGHT
		FRONT	SIDES	REAR		
8,377 sf	93 ft	L=28.67 ft R=22.12 ft	L=56.54M ft R=1.33-2.88 ft	L=13.88 ft R=12.84 ft	4,825.14 sf	22.25-29.75 ft

PROPOSED DESIGN

LOT AREA	FRONTAGE	SETBACKS			OPEN AREA	NEW HEIGHT
		FRONT	SIDES	REAR		
8,377 sf	93 ft	L=28.67 ft R=22.12 ft	L=56.54M ft R=1.33-2.88 ft	L=13.88 ft R=12.84 ft	4,825.14 sf	22.25-29.75 ft

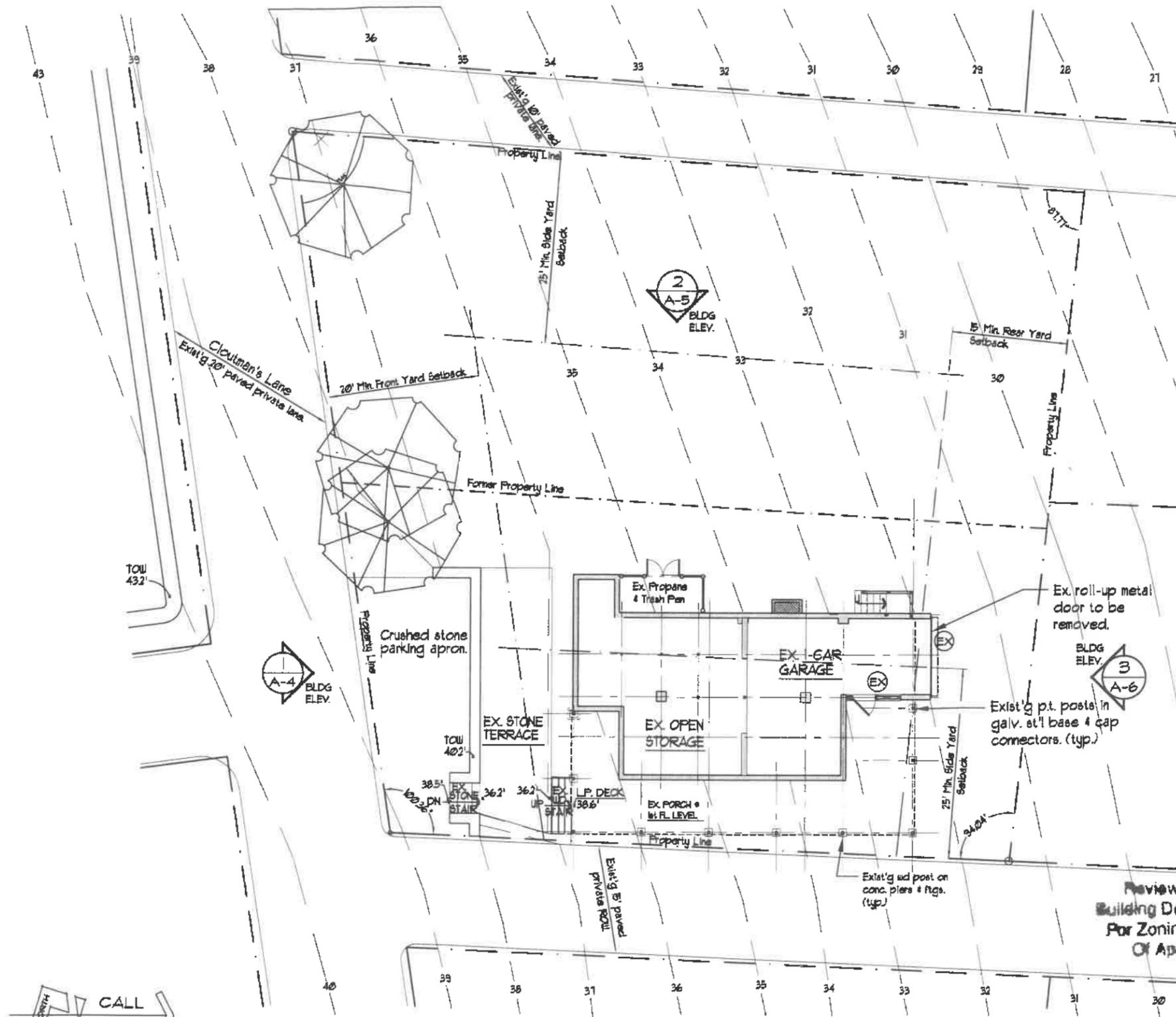
OPEN AREA/GROSS FLOOR AREA RATIO CHANGES

OPEN AREA	EXISTING	PROPOSED	△
- Total lot area	8,377.00 sf	8,377.00 sf	
- Less house footprint	- 1,436.88 sf	- 1,776.07 sf	
- Less accessory bldg footprint	0.00 sf	0.00 sf	
- Less deck, porch, steps, bulkhead	- 623.29 sf	- 588.33 sf	
- Less parking area	- 386.69 sf	- 1,422.28 sf	
NET OPEN AREA (NOA)	5,930.14 sf	4,590.32 sf	1,339.82 sf
GROSS FLOOR AREA			
- Accessory bldgs as living area	0.00 sf	0.00 sf	
- Basement	429.87 sf	813.87 sf	
- 1st Floor	796.35 sf	1,180.35 sf	
- 2nd Floor	792.99 sf	793.50 sf	
- Attic (over 5')	0.00 sf	0.00 sf	
- Roofed porches	569.79 sf	569.79 sf	
- Less utility areas	- 4.27 sf	- 27.08 sf	
TOTAL GROSS FLOOR AREA (GFA)	2,584.73 sf	3,330.43 sf	745.70 sf
REQ'D MINIMUM OPEN AREA:	4,188.50 sf		
PROPOSED NET OPEN AREA:	4,590.32 sf		
PROPOSED TOTAL CHANGE IN GFA:	745.70 sf		
PROPOSED % CHANGE IN GFA:	128.9 %		

Existing Ratio NOA/GFA: 2.29 Proposed Ratio NOA/GFA: 1.37

NOT FOR CONSTRUCTION

ZONING REVIEW ONLY



Reviewed by
Building Department
For Zoning Board
Of Appeals

SITE PLAN - EXISTING CONDITIONS

1/32" = 1'-0"



No.	DESCRIPTION	DATE	BY
REVISIONS			

PAUL G. FERMANO + ASSOCIATES
residential designers · engineering coordinators · construction managers

17 PRINCE STREET MARBLEHEAD, MA 01945-2273 Ph: 978-764-3404 E-mail: pfermano@comcast.net

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CODE CONFORMANCE:
THESE DOCUMENTS ARE IN COMPLIANCE WITH THE MASSACHUSETTS BUILDING CODE, 10th EDITION, AND ALL LOCAL ORDINANCES.

PROJECT DESCRIPTION:
A RENOVATION & ADDITION TO

The ROUSSEAU RESIDENCE

46 CLOUTMANS LANE
MARBLEHEAD, MA 01945

(LOT #16 - DEED BOOK 32574 / PAGE 455)

DRAWING TITLE:

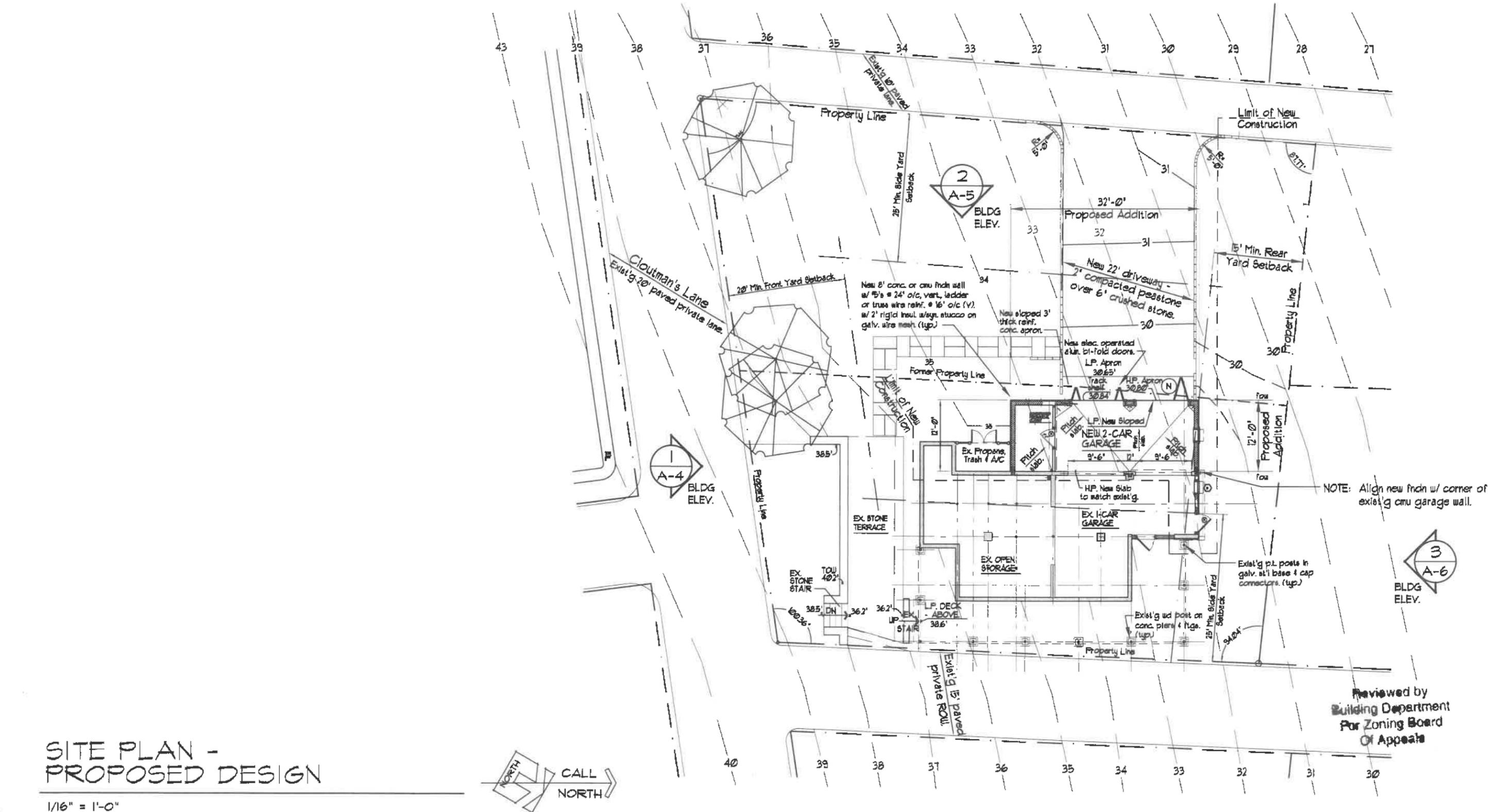
EXISTING CONDITION SITE PLAN

SCALE: 1/32" = 1'-0"

PARTNER - IN-CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT No:	22-001
ISSUE DATE:	09-20-25

EX

L1



NOTE: Align new frch w/ corner of exist'g cmu garage wall.

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Building Department
For Zoning Board
Of Appeals

**SITE PLAN -
PROPOSED DESIGN**

1/16" = 1'-0"



No.	DESCRIPTION	DATE	BY

PAUL G. FERMANO + ASSOCIATES
residential designers · engineering coordinators · construction managers

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46 CLOUTMANS LANE
MARBLEHEAD, MA 01945

(LOT #16 - DEED BOOK 32514 / PAGE 455)

DRAWING TITLE:

**PROPOSED DESIGN
SITE PLAN**

SCALE: 1/16" = 1'-0"

PARTNER - IN - CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25

1

PROGRESS DATE: 09-14-25

PROPOSED BASEMENT/FOUNDATION PLAN

1/8" = 1'-0"



No.	DESCRIPTION	DATE	BY
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A RENOVATION & ADDITION TO:

The ROUSSEAU RESIDENCE

46 CLOUTMANS LANE
MARBLEHEAD, MA 01945

(LOT #16 - DEED BOOK 32514 / PAGE 455)

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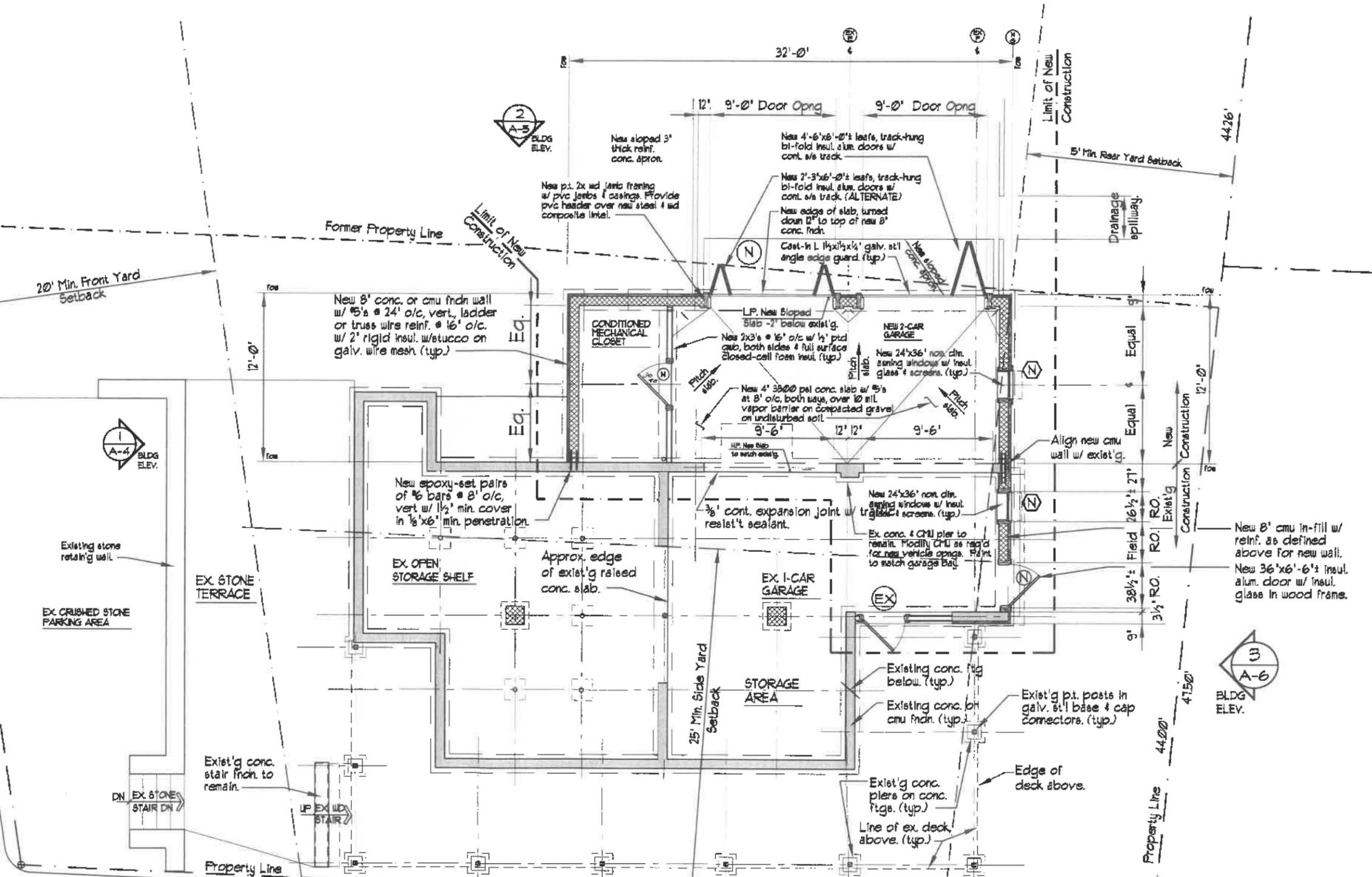
PROPOSED BASEMENT PLAN

SCALE: 1/8" = 1'-0"

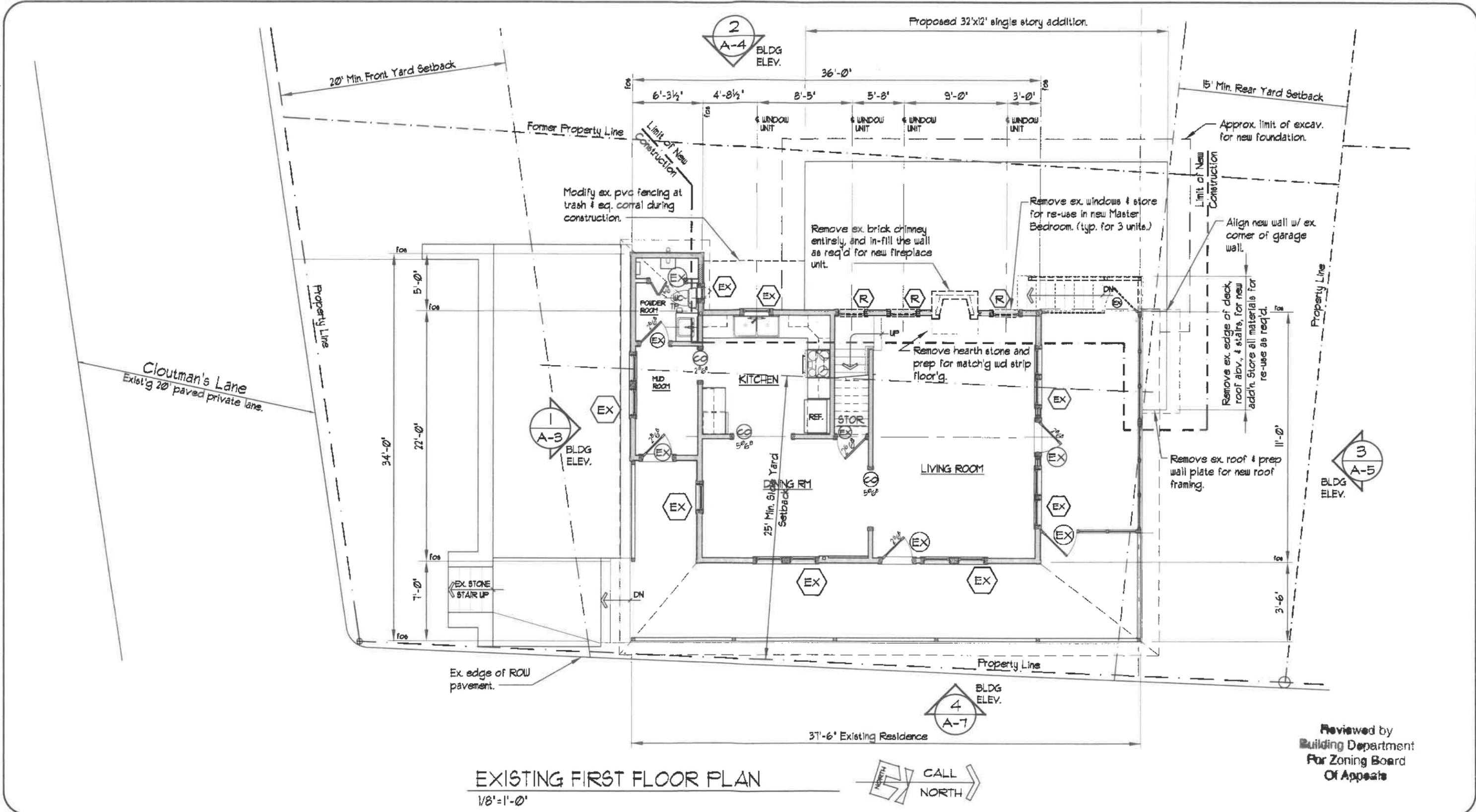
PARTNER - IN - CHARGE: PGF
PROJECT ARCHITECT: PGF
DRAWN BY: EF
CHECKED BY:
PROJECT NO: 22-001
ISSUE DATE: 09-20-25



1



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For Zoning Board
Of Appeals



EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"

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PROJECT DESCRIPTION:
A RENOVATION & ADDITION to:
The ROUSSEAU RESIDENCE
46 CLOUTMANS LANE
MARBLEHEAD, MA 01945
(LOT #16 - DEED BOOK 32574 / PAGE 455)

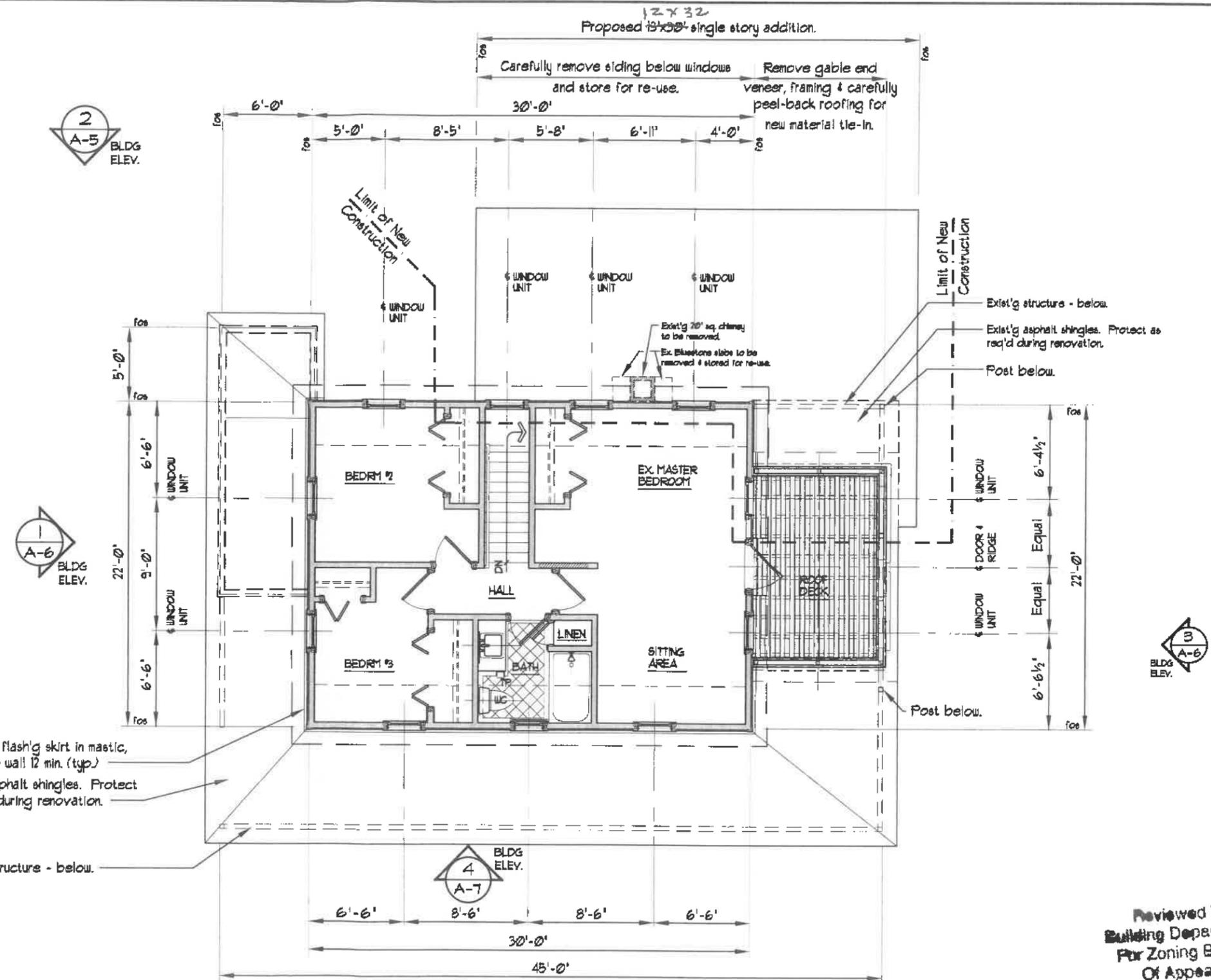
DRAWING TITLE:
**EXISTING CONDITION
1st FLOOR PLAN W/
DEMOLITION NOTES**

SCALE: 1/8" = 1'-0"

PARTNER - IN - CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EP
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25

EX

2



EXISTING SECOND FLOOR PLAN
 1/8" = 1'-0"
 CALL NORTH

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 Of Appeals

No.	DESCRIPTION	DATE	BY
REVISIONS			

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 A RENOVATION & ADDITION TO:
The ROUSSEAU RESIDENCE

46 CLOUTMANS LANE
 MARBLEHEAD, MA 01945
 (LOT #16 - DEED BOOK 32514 / PAGE 455)

DRAWING TITLE:
**EXISTING CONDITION
 SECOND FLOOR PLAN
 W/ DEMOLITION NOTES**

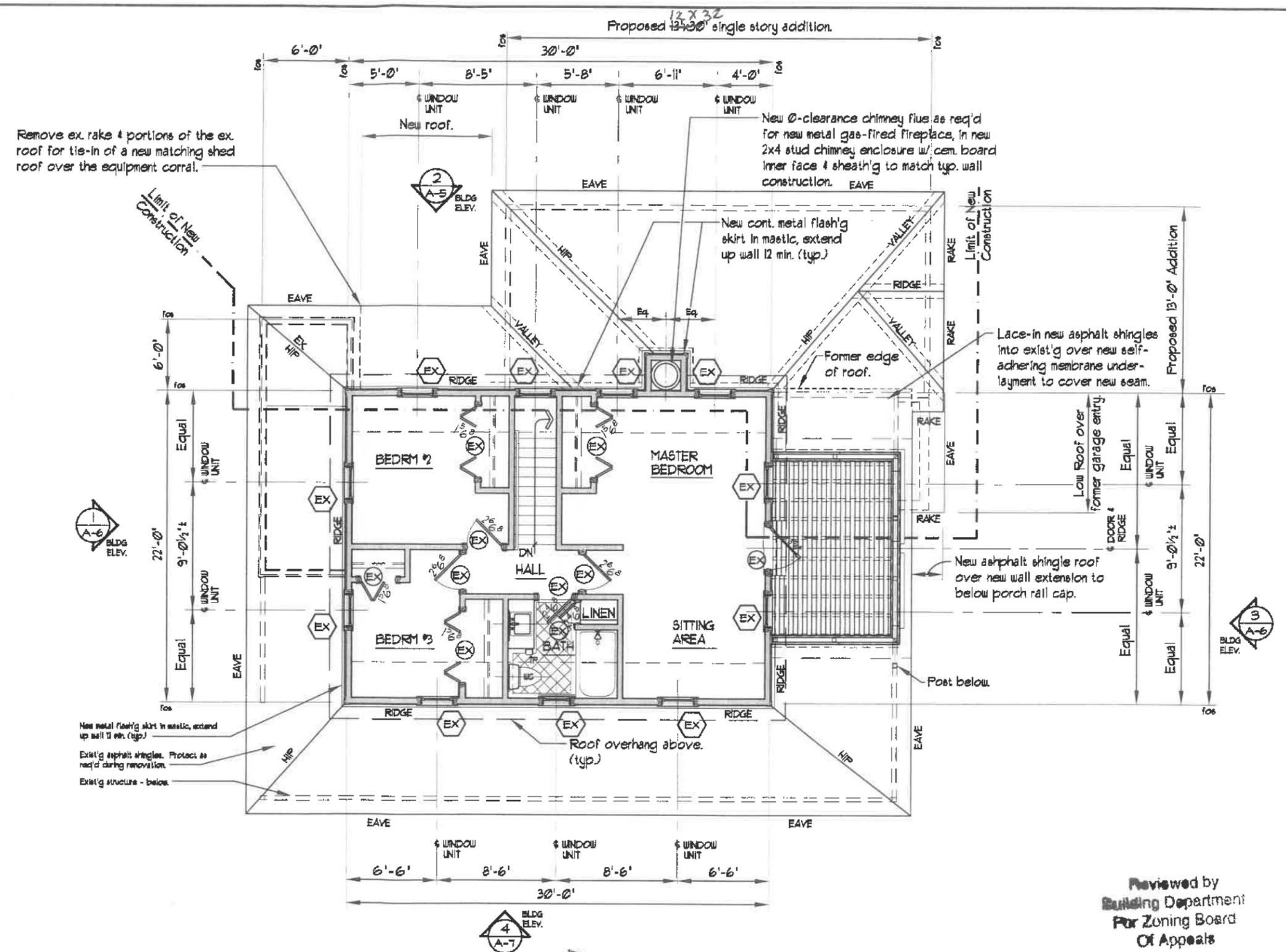
SCALE: 1/32" = 1'-0"

PARTNER - IN - CHARGE: PGF
 PROJECT ARCHITECT: PGF
 DRAWN BY: EF
 CHECKED BY: -
 PROJECT NO: 22-001

ISSUE DATE: 09-20-25

EX

5



PROPOSED SECOND FLOOR PLAN
 1/8" = 1'-0"
 CALL NORTH

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 Of Appeals

No.	DESCRIPTION	DATE	BY
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 46 CLOUTMANS LANE
 MARBLEHEAD, MA 01945
 (LOT #16 - DEED BOOK 32574 / PAGE 455)

DRAWING TITLE:
PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

PARTNER - IN - CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25



Remove ex chimney cricket & related flash'g. Immediately restore roof, incl. framed overhang and fascia/gutter assembly w/ paint finishes to match exist'g.

Remove ex brick chimney, incl. fireplace and hearth, all related flash'gs, crickets and anchors, etc. Prep wall for new veneer to match exist'g.

Bot. of Clg Joists
EL. = +16'-2"

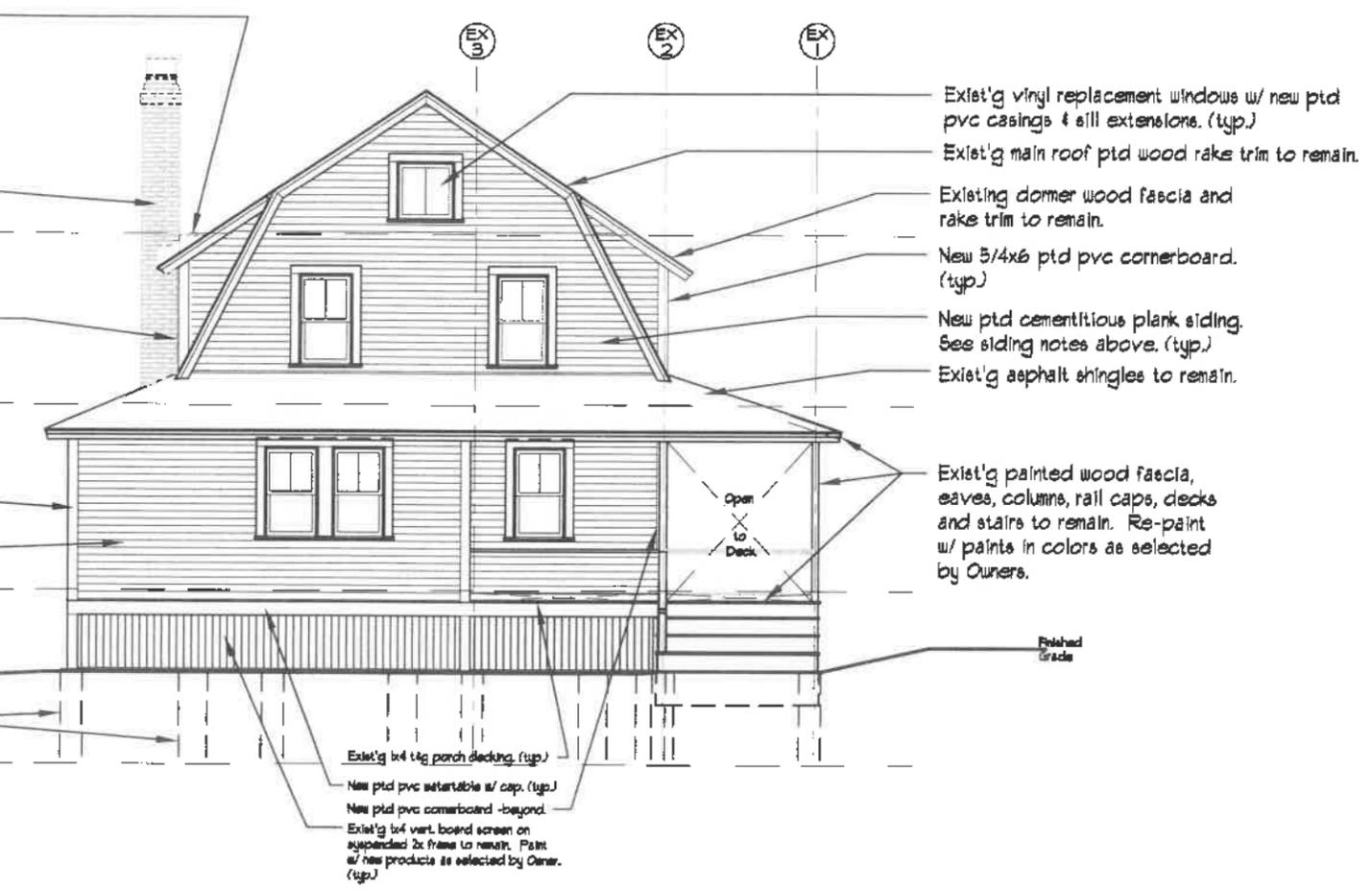
Remove ex ptd 5/4x2 chimney trim over cont. sealant at brick chimney to siding seam. (typ.)

Exist'g Fin. 2nd Floor
EL. = +8'-5"

New ptd pvc cornerboard -beyond.
New ptd cementitious plank siding. See siding notes above. (typ.)

Exist'g Fin. 1st Floor
EL. = 0'-0" (REL)

Existing masonry fndch & piers -beyond.
Fin. Basement Slab
EL. = -7'-8" (Field coord.)



1 FRONT (South Side) ELEVATION
1/8" = 1'-0"

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Of Appeals

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CODE CONFORMANCE: THESE DOCUMENTS ARE IN COMPLIANCE WITH THE MASSACHUSETTS BUILDING CODES, 780 CMR, AND ALL LOCAL ORDINANCES.

PROJECT DESCRIPTION:
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The ROUSSEAU RESIDENCE

46 CLOUTMANS LANE
MARBLEHEAD, MA 01945

(LOT #16 - DEED BOOK 32574 / PAGE 455)

DRAWING TITLE:

**EXISTING CONDITION
FRONT (S) ELEVATION
W/ DEMOLITION NOTES**

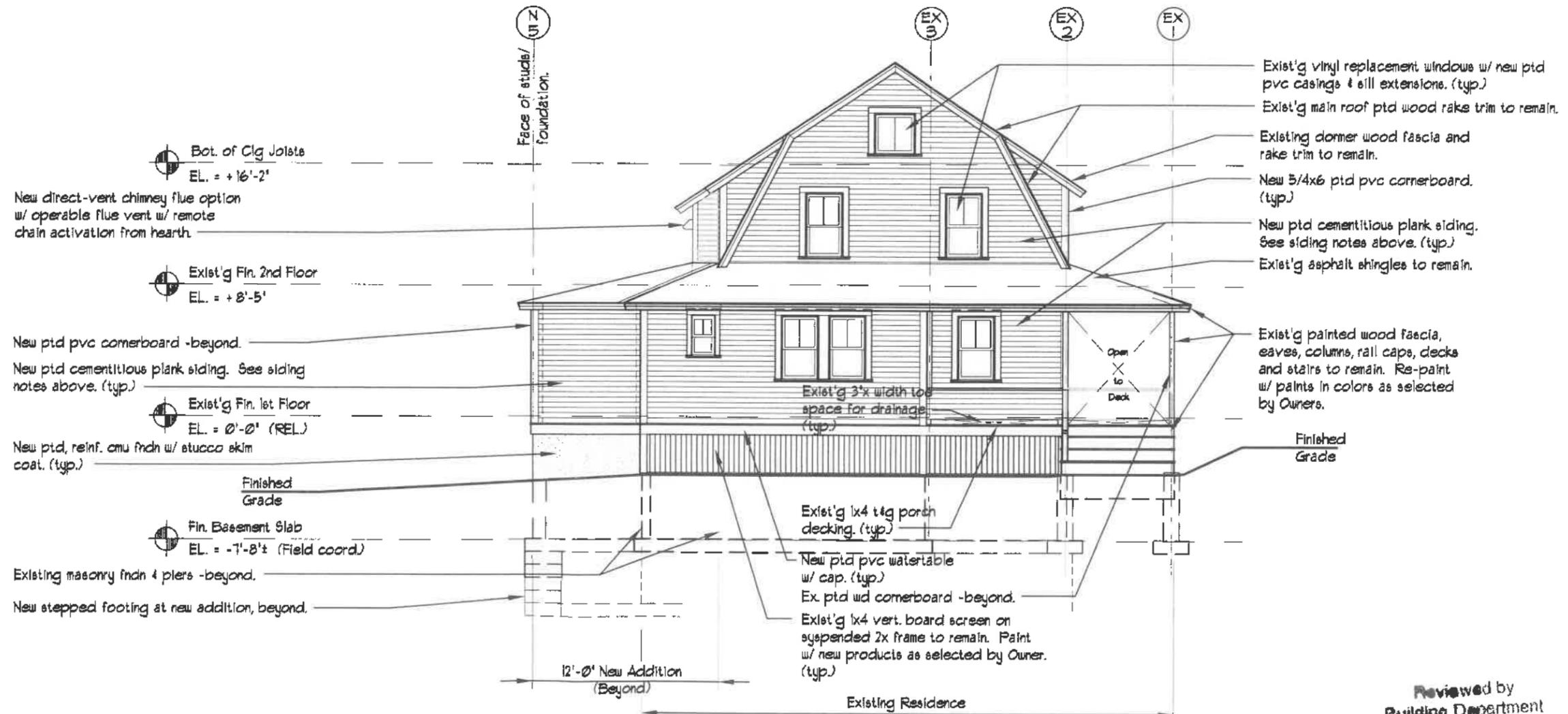
SCALE: 1/8" = 1'-0"

PARTNER - IN - CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25

PROGRESS DATE: 09-14-25

EX

4



1 FRONT (South Side) ELEVATION
1/4" = 1'-0"

Reviewed by
Building Department
For Zoning Board
Of Appeals

No.	DESCRIPTION	DATE	BY
REVISIONS			

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PROJECT DESCRIPTION:
A RENOVATION & ADDITION to:
The ROUSSEAU RESIDENCE

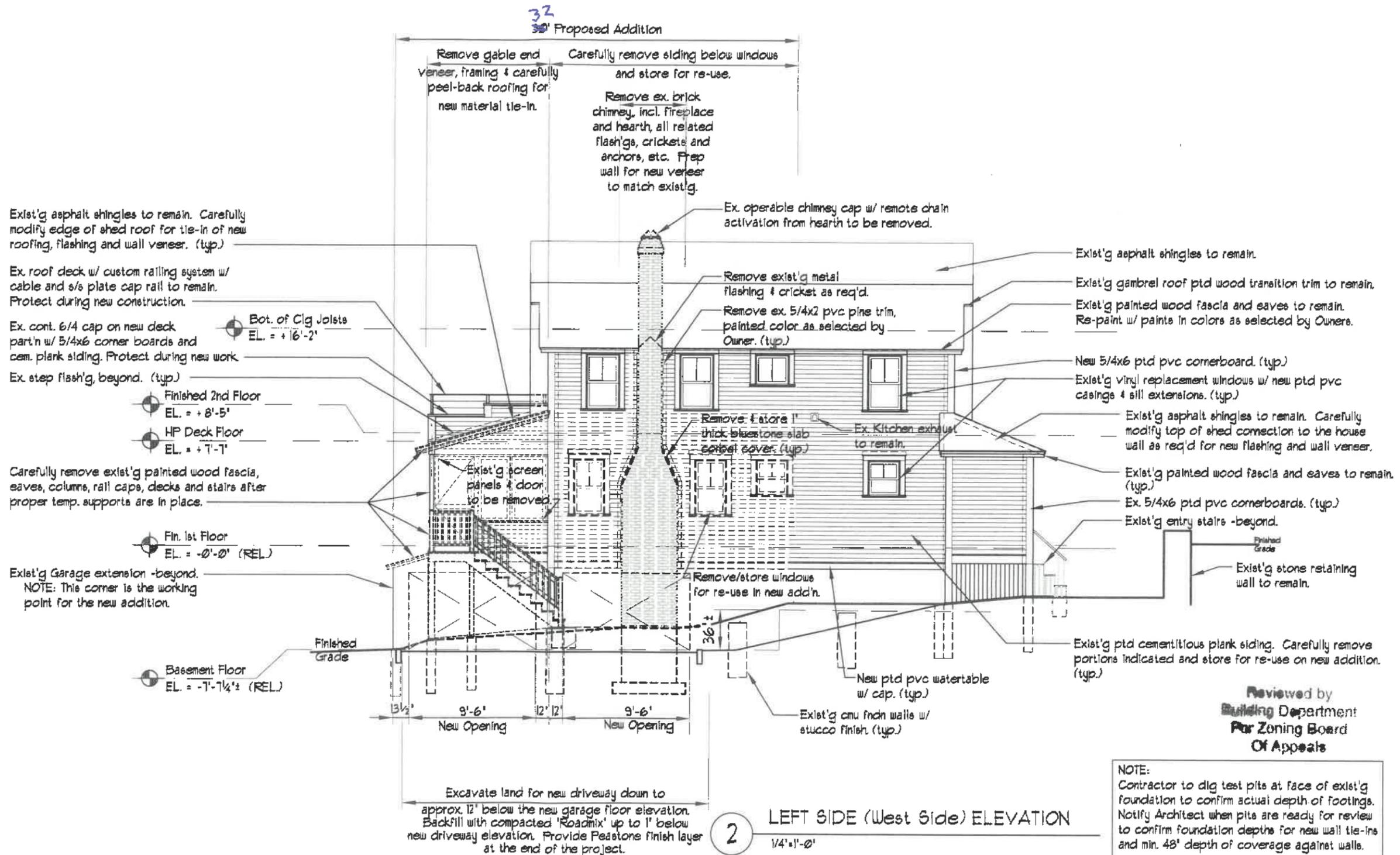
46 CLOUTMANS LANE
MARBLEHEAD, MA 01945
(LOT #16 - DEED BOOK 32574 / PAGE 455)

DRAWING TITLE:
**PROPOSED
FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

PARTNER - IN CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25





2 LEFT SIDE (West Side) ELEVATION
1/4" = 1'-0"

NOTE:
Contractor to dig test pits at face of exist'g foundation to confirm actual depth of footings. Notify Architect when pits are ready for review to confirm foundation depths for new wall tie-ins and min. 48" depth of coverage against walls.

Reviewed by
Building Department
For Zoning Board
Of Appeals

No.	DESCRIPTION	DATE	BY
REVISIONS			

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PROJECT DESCRIPTION:
A RENOVATION & ADDITION TO:

The ROUSSEAU RESIDENCE

46 CLOUTMANS LANE
MARBLEHEAD, MA 01945

(LOT #16 - DEED BOOK 32514 / PAGE 455)

DRAWING TITLE:

**EXISTING CONDITION
LEFT (W) SIDE ELEVATION
W/ DEMOLITION NOTES**

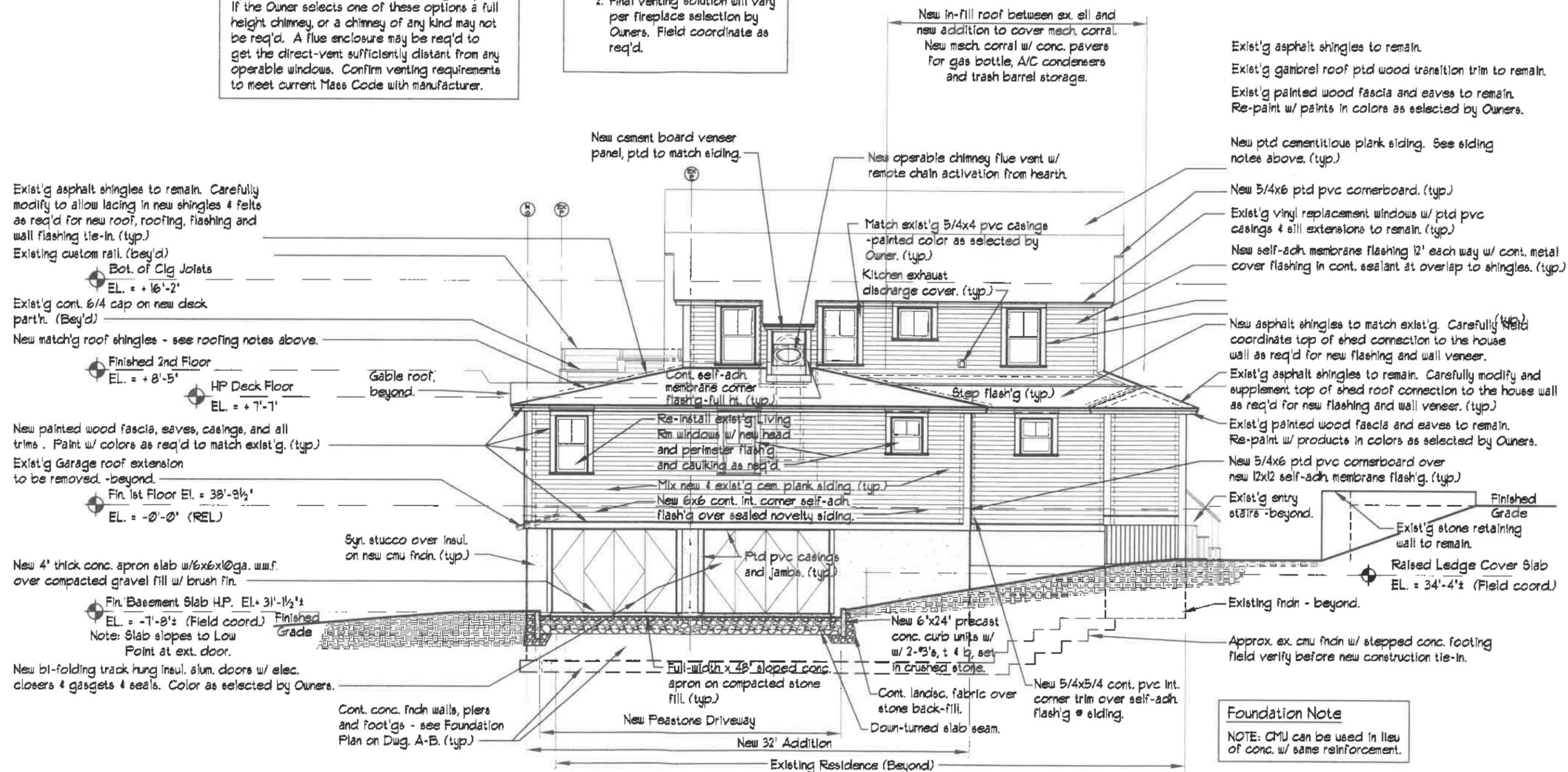
SCALE: 1/8" = 1'-0"

PARTNER - IN - CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25

EX

CHIMNEY NOTES:
 Option 1 - Wood Burning Fireplace
 If the owner elects to install a wood burning fireplace a chimney as shown is req'd.
 Option 2 - Gas and/or Alcohol Burning Fireplaces
 If the Owner selects one of these options a full height chimney, or a chimney of any kind may not be req'd. A flue enclosure may be req'd to get the direct-vent sufficiently distant from any operable windows. Confirm venting requirements to meet current Mass Code with manufacturer.

Chimney flue Notes
 1. New Ø-clearance metal flue in 2x4 stud enclosure w/ s/s vent w/ remote control flue damper.
 2. Final venting solution will vary per fireplace selection by Owners. Field coordinate as req'd.



2 LEFT SIDE (West Side) ELEVATION
 1/4" = 1'-0"

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Building Department
 For Zoning Board
 Of Appeals

No.	DESCRIPTION	DATE	BY
REVISIONS			

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PROJECT DESCRIPTION:
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The ROUSSEAU RESIDENCE
 46 CLOUTMANS LANE
 MARBLEHEAD, MA 01945
 (LOT #16 - DEED BOOK 32514 / PAGE 455)

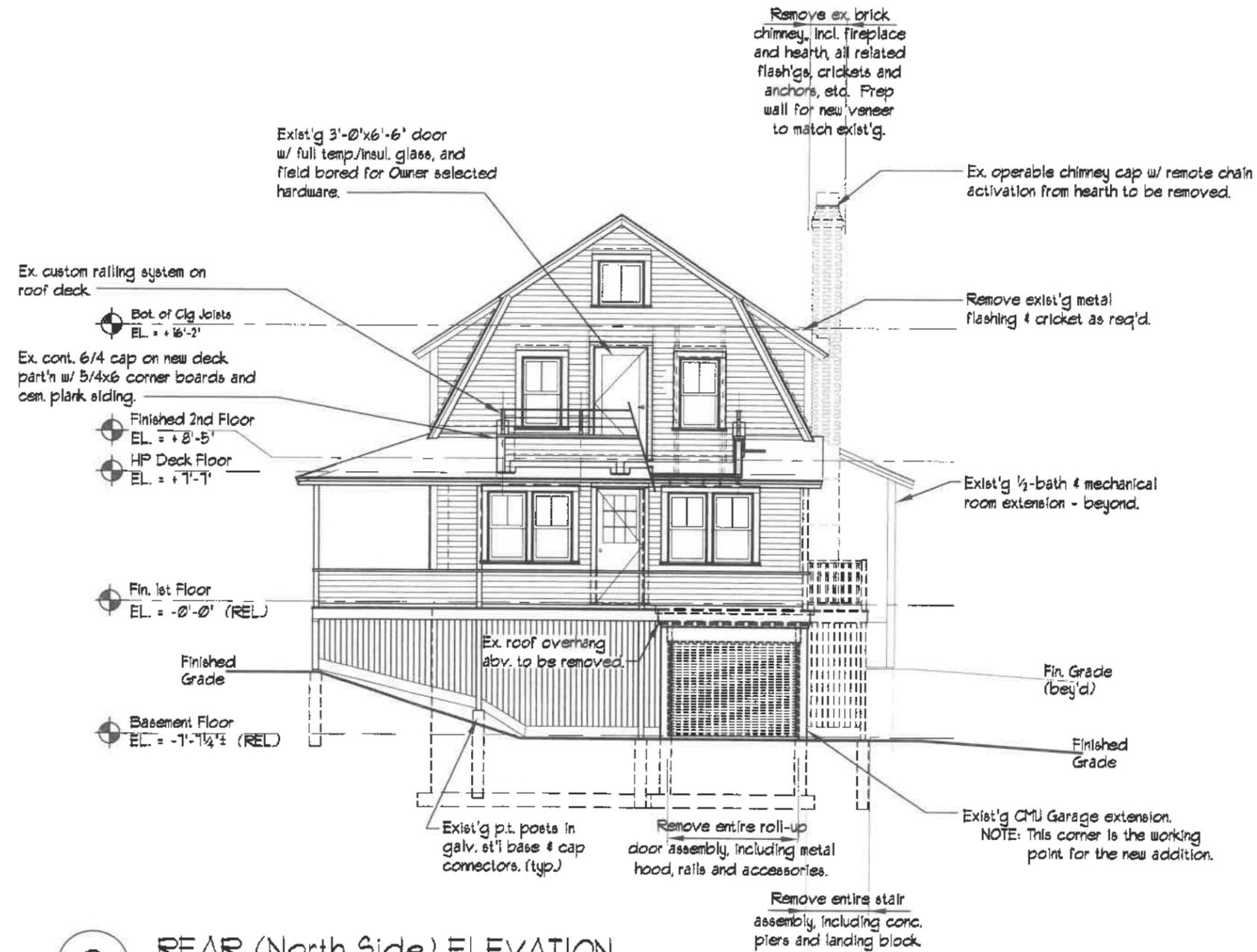
DRAWING TITLE:
PROPOSED LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

PARTNER - IN CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25



NOTE:
See Front Elevation on Dwg A3 for typical material notes.



3 REAR (North Side) ELEVATION
1/8" = 1'-0"

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No.	DESCRIPTION	DATE	BY
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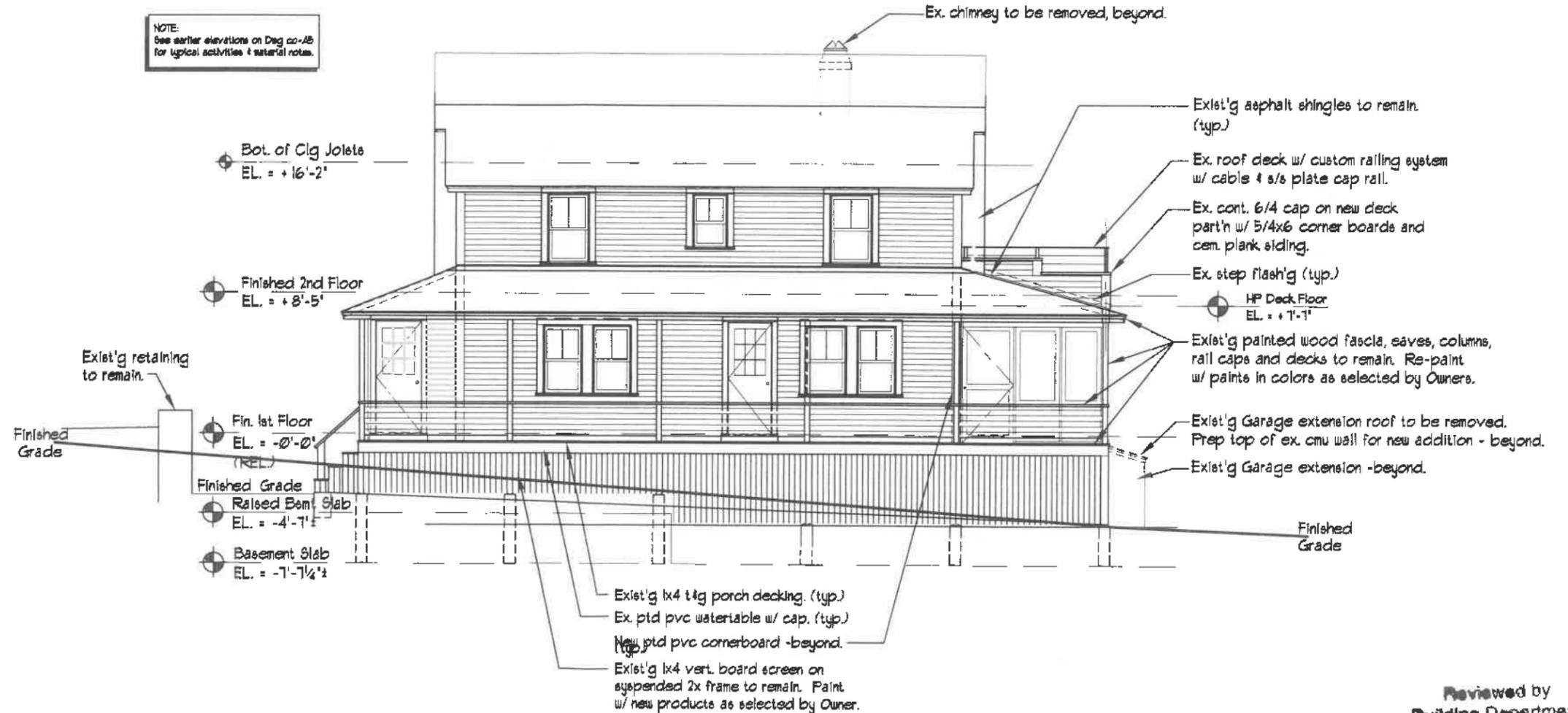
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PROJECT DESCRIPTION:
A RENOVATION & ADDITION TO:
The ROUSSEAU RESIDENCE
46 CLOUTMANS LANE
MARBLEHEAD, MA 01945
(LOT #16 - DEED BOOK 32574 / PAGE 455)

DRAWING TITLE:
**EXISTING CONDITION
REAR ELEVATION
W/ DEMOLITION NOTES**

SCALE:	1/8" = 1'-0"
PARTNER - IN CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25





NOTE:
See earlier elevations on Dwg 00-05
for typical activities & material notes.

4

RIGHT SIDE (East Side) ELEVATION

1/8" = 1'-0"

Reviewed by
Building Department
For Zoning Board
Of Appeals

No.	DESCRIPTION	DATE	BY
REVISIONS			

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PROJECT DESCRIPTION:
A RENOVATION & ADDITION TO:
The ROUSSEAU RESIDENCE
46 CLOUTMANS LANE
MARBLEHEAD, MA 01945
(LOT #16 - DEED BOOK 32514 / PAGE 455)

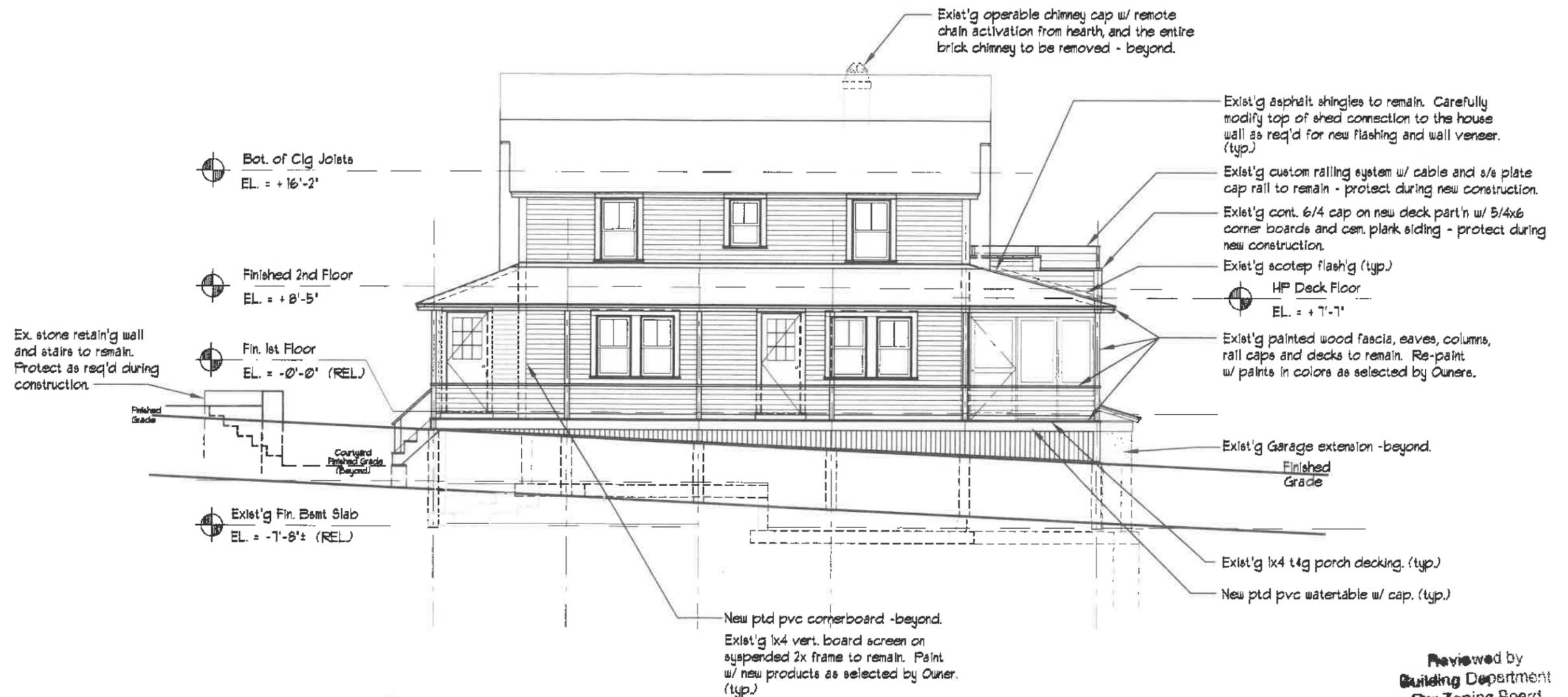
DRAWING TITLE:
**EXISTING CONDITION
RIGHT SIDE ELEVATION
W/ DEMOLITION NOTES**

SCALE:	1/8" = 1'-0"
PARTNER - IN - CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25

EX

7

NOTE:
See earlier elevations on DWG CO-A5
for typical activities & material notes.



4 RIGHT SIDE (East Side) ELEVATION
1/8" = 1'-0"

Reviewed by
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For Zoning Board
Of Appeals

No.	DESCRIPTION	DATE	BY
REVISIONS			

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The ROUSSEAU RESIDENCE

46 CLOUTMANS LANE
MARBLEHEAD, MA 01945

(LOT #16 - DEED BOOK 32574 / PAGE 455)

DRAWING TITLE:

**PROPOSED
RIGHT SIDE ELEVATION**

SCALE:	1/8" = 1'-0"
PARTNER - IN - CHARGE:	PGF
PROJECT ARCHITECT:	PGF
DRAWN BY:	EF
CHECKED BY:	-
PROJECT NO.:	22-001
ISSUE DATE:	09-20-25

